

DRAFT



Town Center Specific Plan

DRAFT
November 8, 2023



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Introduction

1.1 Overview

1.2 Specific Plan Area

1.3 Relationship to other Planning Documents

1.4 Outreach Process

1.5 Specific Plan Goals

1.6 Specific Plan Organization





1.1 Overview

The Town Center Specific Plan area is a focal point for the City of Santee and anchors the 651 acre City and its community of 59,000 residents. The Specific Plan intends to shape the existing Town Center into a people-oriented commercial and residential hub, with a mix of uses and amenities that serve the residents and visitors alike. Its unique location allows development to occur in areas with connectivity to natural features and man-made amenities.

The Town Center Specific Plan aims to protect and enhance the area's natural features, especially the San Diego River. The Specific Plan provides direction for the establishment of new residential, commercial, institutional, office, civic center, and open space uses, within the available properties which present potential for continuing to create an engaging and successful central core for the City of Santee.

The original Town Center Specific Plan was adopted by the City Council on October 22, 1986. This update of the Specific Plan builds upon the goals and objectives established by the 1986 plan, while strengthening the vision provided for their implementation through thoughtful development of illustrative concepts and the establishment of development standards to guide future development.

1.2 Specific Plan Area

The Town Center Specific Plan Area is centrally located within the City of Santee. Santee is in the County of San Diego, about 18 miles east of downtown San Diego. Santee is bordered on the west and southwest by the City of San Diego, on the south by the City of El Cajon, on the north by San Diego County lands and on the east by Lakeside, an unincorporated community within the County of San Diego. The area surrounding Santee contains scenic hills and ridgelines.

The Town Center Specific Plan area is bounded on the south by Mission Gorge Road and 3rd Street, on the east by Magnolia Avenue and Cottonwood Avenue, and on the north by Mast Boulevard. The Specific Plan area also includes areas west of Cuyamaca Street. The San Diego River flows through the central portion of the Specific Plan area. Figure 1-1 depicts the Town Center Specific Plan area and shows each property within the boundaries.

1.3 Relationship to other Planning Documents

City of Santee General Plan

The Santee General Plan is the long-term vision to guide the physical development of the city. The Santee General Plan designates the Town Center Specific Plan area in Land Use Element, to guide development in this opportunity area. The Town Center Specific Plan implements the Santee General Plan within the plan area by providing a vision

and tailored land use and development standards applicable to future development and improvements within the Plan boundaries.

Sustainable Santee Plan

Sustainable Santee Plan is the roadmap for reducing Greenhouse Gas Emissions (GHG) in the city. The Sustainable Santee Plan, which calls for the creation of a vibrant Town Center and to improve the walking and biking experience and support transit ridership within the Town Center. The Town Center Specific Plan implements the Sustainable Santee Plan by providing a vision and guidance for future development, as well as proposing a multimodal mobility network, facilities, and improvements that supports all modes of transportation in the area.

Housing Element

The City of Santee City Council adopted the Housing Element (2021-2029 Sixth Cycle) on July 14, 2021. The Housing Element (HE) is compliant with state housing law as determined by Housing and Community Development (HCD) on December 6, 2022. The Housing Element included a Sites Inventory map and table (Figure C-1 and Table C-1 of the HE), with a series of undeveloped or underutilized parcels that provide an opportunity for the City of Santee to meet their Regional Housing Needs Assessment housing production goals. Four of the sites included in the Sites Inventory are located within the boundary of the Town Center Specific Plan.

To further advance housing production in Santee, city staff applied for a Housing Acceleration Program grant with San Diego Association of Governments. The grant application was successful, and it was awarded to the City of Santee. The HAP grant provided funding for project-level analysis of four Housing Element opportunity sites, identified as 16A, 16B, 20A, and 20B within the Sites Inventory map. The Town Center Specific Plan includes illustrative site planning and development concepts for each site.



Caption to be provided



Caption to be provided



Caption to be provided

1.4 Outreach Process

In 2021, the City of Santee embarked on a visioning process to gain understanding of the community's preferred uses and needed improvements within the Town Center Specific Plan area.

Pop-Up Outreach

City staff and a consultant team facilitated a series of pop-up outreach booths at well-attended City of Santee events. At each pop-up outreach event, a series of boards were made available to capture the feedback from attendees through "sticky dot exercises". The public was encouraged to share their thoughts and provide feedback.

Each board had different questions with multiple options to help understand the community's priorities and needs. Pop-up outreach was conducted at:

- ▶ Hop Down the Bunny Trail (April 9, 2022)
- ▶ Street Fair (May 28, 2022)
- ▶ Summer Concert (July 28, 2022)



Caption to be provided

Community Meetings

As part of the community outreach efforts, City staff and the consultant team hosted community meetings at Off-Broadway Live, on May 18, 2022, and June 29, 2022.

Residents, property owners, various community members, shopping center representatives, and developers were in attendance. Some of the meeting attendees included representatives from the East County Art Association, Expression Dance Movement Center, and Staump Music School; as well as representatives from Grossmont Union High School District, the Padre Dam Municipal Water District, the Santee Branch Library, County of San Diego Department of General Services, Grossmont Healthcare District, Santee Foundation, East County Economic Development Council, members of SPARC and the East County Chamber of Commerce.

The meetings were kicked-off by a presentation which highlighted the Town Center Specific Plan goals, followed by an exercise in which small groups of attendees reviewed an opportunities and constraints map, discussed the goals of the Town Specific Plan, and reported back to the entire group their ideas, priorities, and needs.

Online Questionnaire

An online questionnaire was prepared and made available to the public on April 9, 2022. The consultant team prepared a postcard handout, which included a summary of the project, a QR code to the online questionnaire, and a project email for questions/comments. Copies of the postcard were made available at City offices, and at each outreach event that our team facilitated.

Hardcopies of the questionnaire were also available at each pop-up outreach event facilitated. A total of 169 people, 91.7% of them residents, responded as of March 1, 2023.



Caption to be provided

City Council Briefings and City Council Study Session

On April 25, 2022, and April 27, 2022, City staff and the consultant team held meetings with City Councilmembers and provided an overview regarding community outreach efforts and to gather key feedback regarding their vision and ideas for the Town Center Specific Plan.

On August 24, 2022, City staff and the consultant team facilitated a presentation to City Council to present a summary of the outreach efforts results and key concepts that were developed up to date. The meeting was open to the public and City Council provided feedback during the meeting.

On September 13, 2023, City staff and the consultant team conducted a presentation to City Council focusing on the proposed land use plan and mobility network, as well as providing an overview of the vision crafted for the future development of a series of residential and commercial areas within the Specific Plan area.

On November 8, 2023, City staff and the consultant team will conduct a presentation to City Council which will provide an overview of the draft Specific Plan, the vision it provides for future development in the Town Center, and the key elements identified for its implementation.

1.5 Specific Plan Goals

Based on synthesis of the community's desires and input, the following overall and topic specific goals were established to guide the Specific Plan.

Overall Goal

The Town Center shall become Santee's vibrant focal point by balancing development with conservation, enhancement of the community's regional image, and the creation of opportunities for people to live, work, and play.

Open Space

- ▶ A unified comprehensive open space system should be an integral part of the basic design concept of Town Center. The river shall be a open space area for the benefit of the community.

Parks and Recreation

- ▶ Both active and passive recreational opportunities should be provided and encouraged to help meet the recreational needs of the community.

Urban Design

- ▶ Architectural designs and concepts should be guided by criteria which reinforce the sense of community identity. These criteria should foster uniqueness and cohesive design enhancing Santee's character.

Landscape Design

- ▶ Landscape design should enhance the quality of the environment and contribute to high quality, safe, and energy efficient development.

Circulation and Parking

- ▶ Provide for the development of a varied, safe, efficient, and cost-effective transportation systems to adequately support the circulation needs of the Town Center area with minimal negative impact on the community.

Residential

- ▶ A variety of housing types and sizes and a mixture of ownership and rental housing should be provided.

Commercial/Office Professional

- ▶ A variety of commercial and office/professional opportunities should provide goods, services, and employment opportunities to the region and establish the Town Center as an activity center of the community.

Civic/Institutional

- ▶ Community-serving, civic/institutional, and public uses should be incorporated as part of development within city-owned properties and become Santee's focal points for residents and visitors to enjoy.

Employment

- ▶ Employment-supportive uses should be established as part of new developments, to provide job opportunities for the community and establish revenue sources within Town Center. These should include research and development, office/professional, and non-polluting light assembly types of uses.

1.6 Specific Plan Organization

Section 1 - Introduction

Describes the Specific Plan area, provides an overview and context, summarizes community engagement and vision, and describes the relationship to other planning documents.

Section 2 - Land Use and Urban Form

Provides a vision and land use plan for the Specific Plan area, including an overview of each of the neighborhoods established by the Plan. This section includes description for each of the land use designations, standards, and corresponding zoning applicable in the area, and illustrative site concepts that showcase the area's allowed uses and standards.

Section 3 - Mobility and Beautification

Addresses the proposed transportation network within the Specific Plan area. This section describes and illustrates existing and proposed configuration for major roadways, and details how the bicycle, pedestrian, and vehicular facilities will be organized within the public right-of-way.

Section 4 - Infrastructure and Public Facilities

Describes existing and proposed infrastructure such as water, wastewater, storm drainage, and dry utilities; and the public services and associated facilities which support the Specific Plan area.

Section 5 - Implementation

Includes a series of potential funding sources and financing mechanisms that could support the implementation of the Specific Plan.

Section 6 - Administration

Describes the Town Center Specific Plan authority, the administrative procedures required for amendments and/or modifications to the Plan, and processing requirements.

Section 7 - Allowable and Permitted Uses

References applicable citywide zones for each land use designation, while identifying land use regulations unique to the Specific Plan, detailing exceptions, additional allowances, and/or different permitting processes where appropriate.

Land Use and Urban Form

2.1 Introduction

2.2 Neighborhoods

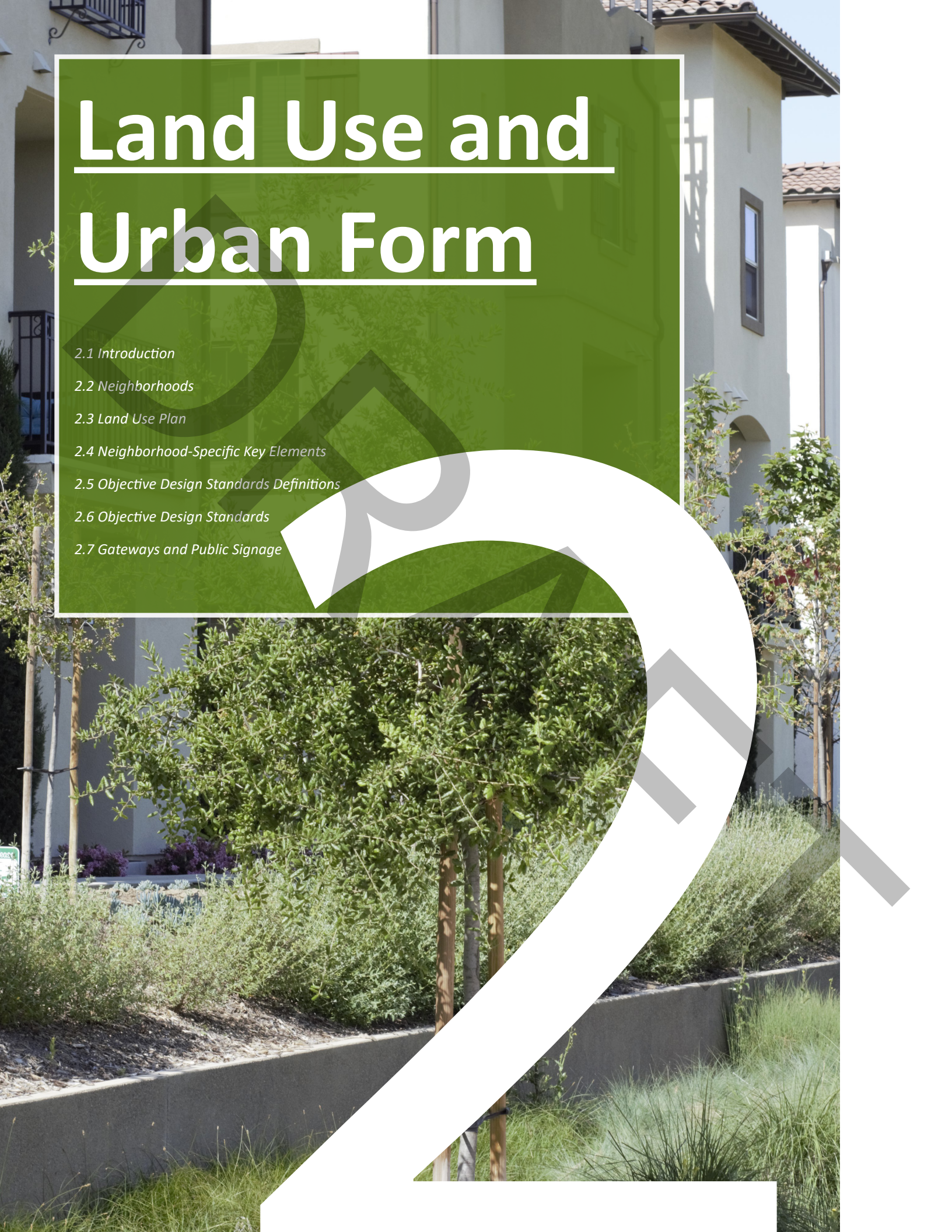
2.3 Land Use Plan

2.4 Neighborhood-Specific Key Elements

2.5 Objective Design Standards Definitions

2.6 Objective Design Standards

2.7 Gateways and Public Signage





2.1 Introduction

This section provides direction for future development within the Specific Plan area. It includes a land use plan that allows the densities, intensities, and land use regulations applicable to properties within the Specific Plan area, as well as standards to guide future development and improvements within the public right-of-way.

2.2 Neighborhoods

This chapter identifies a series of neighborhoods, which are defined by their location, development patterns, and potential mix of uses. Each neighborhood includes a vision statement, and neighborhood-specific development standards. The Specific Plan will help shape the character and urban form of the areas outlined by providing a regulatory framework for future development.

The Town Center Specific Plan is comprised of five neighborhoods, shown in Figure 2-1: Neighborhoods, and listed below:

- ▶ Arts & Entertainment Neighborhood
- ▶ Town Center Commercial Neighborhood
- ▶ Mast Boulevard Residential Neighborhood
- ▶ Park Avenue Residential Neighborhood
- ▶ Institutional Neighborhood

Arts and Entertainment Neighborhood

The City of Santee adopted the Arts and Entertainment Overlay in 2019, with the intent of encouraging the development of an arts and entertainment neighborhood within a significant portion of the Town Center Specific Plan. The Arts and Entertainment Neighborhood incorporates tailored land use designations that support uses related to arts and culture, entertainment, commercial recreation, visitor, and civic uses. The Arts and Entertainment Neighborhood aims to enhance connections to the San Diego River, strengthen the sense of place creating an attraction for residents and visitors to gather, and public spaces that incorporate streetscape concepts with features such as riparian inspired landscape treatments, water elements, shade, lighting, and wayfinding signage. The Specific Plan aims to create a central destination within the city, with a strong emphasis on arts and culture, and connections to the natural environment.



Residents and visitors gathering in a public space.



Example residential project.



Public art, fountain.

Town Center Commercial Neighborhood

The Town Center Specific Plan Area contains a great number of commercial uses, including a variety of retail and services options. The commercial uses found in the Specific Plan area serve the area residents and attract visitors to come and spend time in Santee. The Specific Plan identifies the areas west of Cuyamaca Street as the Town Center Commercial Neighborhood. This neighborhood presents strip shopping commercial areas, with easy access to Mission Gorge Road and Cuyamaca Street. The Town Center Specific Plan recognizes the commercial properties within this area have the potential to expand, while taking into consideration the parking needs of the established uses of the area.

Mast Boulevard Residential Neighborhood

The Specific Plan includes a series of existing residential neighborhoods, which provide vitality and an influx of residents that live, work, and enjoy the community's recreation facilities in the area. These established residential neighborhoods are assumed to maintain their character, while enhancing pedestrian and vehicular connections between them and to the rest of uses within the Specific Plan area. In addition to the existing residential neighborhoods, this area includes vacant parcels located north of the San Diego River and south of Mast Boulevard, which are designated to allow for residential uses. The Specific Plan envisions new residential development that is designed with consideration to the surrounding properties, in terms of access, connectivity, and relationship to the San Diego River.

Park Avenue Residential Neighborhood

The Specific Plan recognizes the underlying potential for new development to occur in the residential properties located on the southeast portion of the Specific Plan area, along Park Avenue, east of Cottonwood Avenue, west of Magnolia Avenue and north of Mission Gorge Road. The properties within this neighborhood are designated TC-R-22, which allows for between 22-30 dwelling units per acre. Existing residential development in this area consists of single-family residences found on lots that could accommodate an additional number of units should the properties be redeveloped. Some characteristics of this area such as the existing grid street pattern, Park Avenue's generous width, and proximity to retail and services, provide this neighborhood with potential to successfully support gradual change within the framework of the densities allowed in the plan.

Institutional Neighborhood

The Specific Plan area includes two properties of large size with institutional uses which are surrounded by a mix of other uses. The Las Colinas Detention and Reentry Facility (LCDRF) and the Edgemoor Skilled Nursing Facility. Both facilities serve regional purposes. Las Colinas Detention and Reentry Facility is operated by the County of San Diego Sheriff's Department. Edgemoor Skilled Nursing Facility is owned and operated by the County of San Diego and provides care for individuals having complex medical needs who require specialized interventions from highly trained staff. The Specific Plan recognizes these properties have reached their development potential and does not envision major changes in the upcoming years.

Figure 2-1: Neighborhoods



- Arts & Entertainment Neighborhood
- Town Center Commercial Neighborhood
- Mast Boulevard Residential Neighborhood
- Park Avenue Residential Neighborhood
- Institutional Neighborhood

2.3 Land Use Plan

The Town Center Specific Plan includes Figure 2-3: Land Use Map, which provide land use designations applicable to each property within the Specific Plan area. Each of these land use designations is described in Chart 2-1: Land Use Designations.

The Specific Plan identifies land uses as follows: describing the plan's intent for future development, referencing applicable citywide zones for each land use designation, while identifying exceptions, additional allowances, and/or different permitting processes where appropriate, as referenced in Table 2.1: Land Use Designations / Applicable Zoning.

The Specific Plan supersedes the Development Code within the Specific Plan boundary. Where the Specific Plan is silent on a topic(s), the Development Code will remain in force.

Residential

The Plan envisions the residential development of the area will allow for additional housing opportunities within a central location in the City of Santee, in proximity to transit, services, amenities and recreational facilities. The Residential land use designations allow for densities that support different housing types for a range of household incomes.

Residential TC-R-2 (2 to 6 DU/AC)

The Residential TC-R-2 land use designation is intended for single-family residential development in a typical subdivision.

Residential TC-R-7 (7 to 14 DU/AC)

The Residential TC-R-7 land use designation is intended for multi-family residential development which could include detached units (at the lower end of the density range), and/or attached units (at the higher end of the density range).

Residential TC-R-14 (14 to 22 DU/AC)

The Residential TC-R-14 land use designation is intended for multi-family residential development which could include multiple family attached units (at the lower end of the density range) and attached units, in the form of apartment and condominium buildings (at the higher end of range). This land use designation allows for smaller front yards and taller structures, in comparison to TC-R-7.

Residential TC-R-22 (22 to 30 DU/AC)

The Residential TC-R-22 land use designation is intended for residential development that typically could include mid-rise apartment and condominium buildings. This land use designation allows for reduced private open space and common space requirements, and taller structures, in comparison to TC-R-14.

Residential TC-R-30 (30 to 36 DU/AC)

The Residential TC-R-30 land use designation is intended for residential development that typically could include mid-rise apartment and condominium development with parking facilities incorporated into the building design. This land use designation allows for reduced private open space and common space requirements, and taller structures, in comparison to TC-R-14, as well as larger lot coverage percentages allowed in comparison to TC-R-22.



Example residential complex.



Commercial

The Commercial land use designation allows for small-scale, pedestrian-oriented retail, services and office uses, designed to serve the City or the region as a whole. This land use designation allows for structures up to 40 feet tall (except within 50 feet of a residential property).

Office Commercial

Office Commercial provides for employment and professional/administrative offices and personal services rather than commodities, with limited retail uses. This land use designation allows for reduced minimum lot widths in comparison to the commercial land use designation and allows for structures up to 40 feet tall (except within 50 feet of a residential property).

Trolley Commercial

Trolley Commercial allows a variety of commercial uses, such as retail, hotels, service stations and office, that serve residents and workers in the community and adjacent communities. Office, that serve residents and workers in the community and adjacent communities, as well as visitors that arrive to Santee via the trolley.

Entertainment Commercial

The Entertainment Commercial land use designation allows for entertainment uses, such as a movie theater, as well as accessory uses such as restaurants, food halls, retail and services that enhance the user



experience. This land use designation also allows for public gathering spaces and/or civic uses.

Floodway / Open Space

The Floodway/Open Space land use designation allows for controlled development within floodplains to protect the public health, safety, and welfare and to minimize hazards due to flooding.

Park / Open Space

The Park / Open Space land use designation allows for the development and operation of public parks and facilities to promote active and passive recreation. This land use designation limits development recognizing the adjacency to the San Diego River.

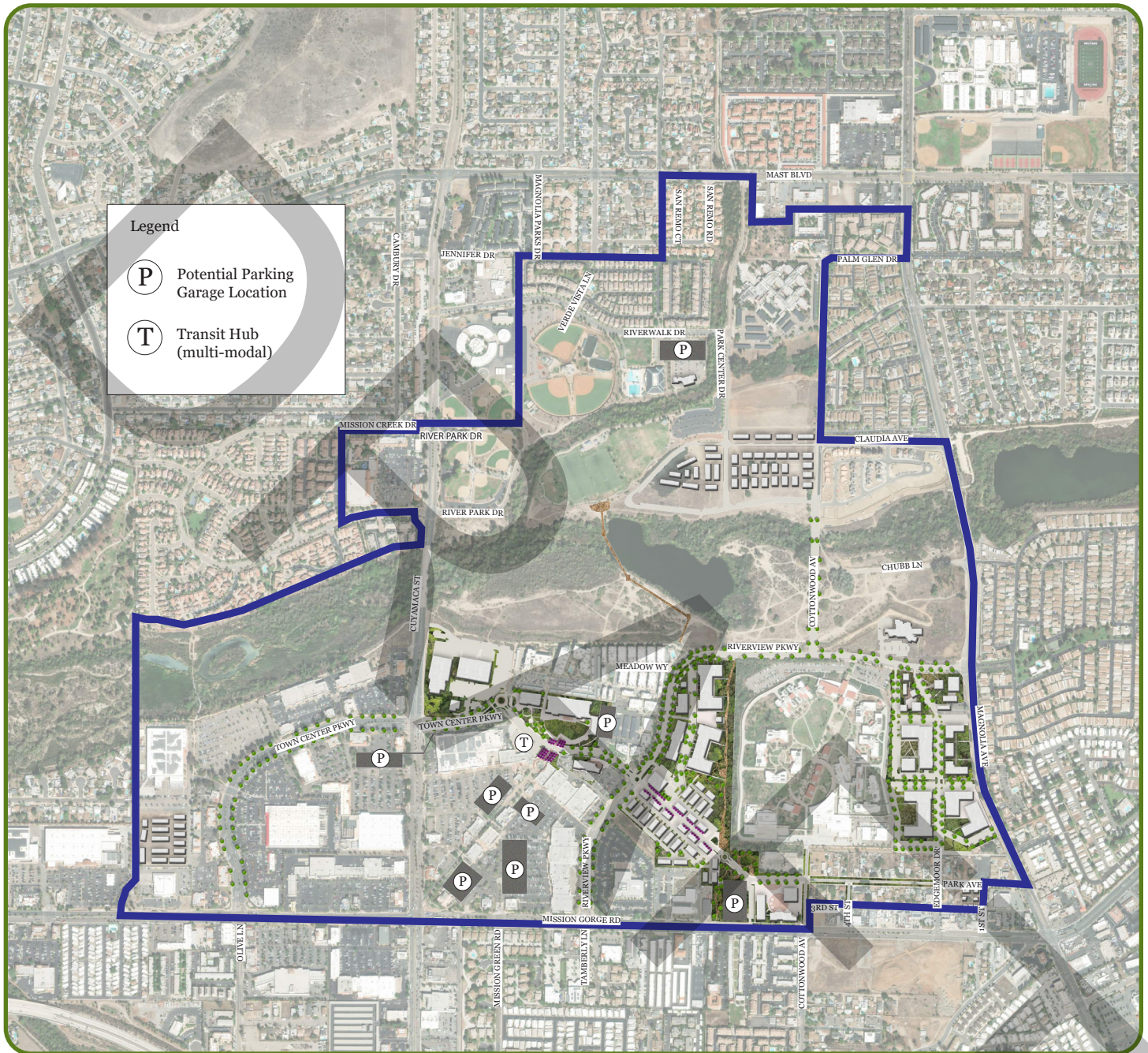
Institutional

The Institutional land use designation provides either public or private facilities that serve a public benefit that may serve the community or a broader area. Institutional land uses within the community consist mainly of public buildings and facilities, including but not limited to fire stations, health facilities, detention facilities, branch libraries, and educational facilities.

Mixed-Use Overlay

The mixed-use overlay applies to a series or properties within the Town Center Specific Plan area as indicated in Figure 2-3: Land Use Map. The purpose of the mixed-use overlay is for residential development to incorporate ground level commercial uses.

Figure 2-2: Town Center Specific Plan - Illustrative Site Plan



The following pages include a series of concepts that illustrate the development potential within the Specific Plan area. Figure 2-2: Town Center Specific Plan - Illustrative Site Plan, showcases these concepts, in conjunction with the proposed connectivity network for all modes of transportation.

The Specific Plan provides a unifying landscape concept for the area, as well as standards related to signage and features of the public realm, which aim to enhance the area’s character, sense of place, and have the strengthen the Town Center area as a regional destination.

Figure 2-3: Land Uses
















- | | |
|--|--|
|  Residential TC-R-2 (2 to 6 DU/AC) |  Commercial |
|  Residential TC-R-7 (7 to 14 DU/AC) |  Office Commercial |
|  Residential TC-R-14 (14 to 22 DU/AC) |  Trolley Commercial |
|  Residential TC-R-22 (22 to 30 DU/AC) |  Entertainment Commercial |
|  Residential TC-R-30 (30 to 36 DU/AC) |  Institutional |
|  Floodway / Open Space |  Mixed-Use Overlay |
|  Park / Open Space | |

Table 2-1: Land Use Designations / Applicable Zoning

<u>Color shown on Figure 2-1</u>	<u>Specific Plan Land Use Designation</u>	<u>Density Range</u>	<u>Applicable City-wide Zoning</u>	<u>Applicable Exceptions and Allowances</u>
	Residential TC-R-2	2 to 6 DU/AC	R-2	Refer to Section 7.2, Table 7-1
	Residential TC-R-7	7 to 14 DU/AC	R-7	Refer to Section 7.2, Table 7-1
	Residential TC-R-14	14 to 22 DU/AC	R-14	Refer to Section 7.2, Table 7-1
	Residential TC-R-22	22 to 30 DU/AC	R-22	Refer to Section 7.2, Table 7-1
	Residential TC-R-30	30 to 36 DU/AC	R-30	Refer to Section 7.2, Table 7-1
	Floodway / Open Space	N/A	Open Space	Refer to Section 7.5, Table 7-12, Table 7-13
	Park / Open Space	N/A	Open Space	Refer to Section 7.5, Table 7-11, Table 7-12
	Commercial	N/A	GC	Refer to Section 7.3, Table 7.3.1, Table 7.3.2
	Office Commercial	N/A	OP	Refer to Section 7.3, Table 7-2, Table 7-6
	Trolley Commercial	N/A	NC	Refer to Section 7.3, Table 7-2, Table 7-4
	Entertainment Commercial	N/A	NC	Refer to Section 7.3, Table 7-2, Table 7-5
	Institutional	N/A	OP	Refer to Section 7.4, Table 7-9, Table 7-10
Overlays				
	Mixed-Use Overlay		Underlying zone and MU Overlay	Refer to Section 7.4, Table 7-7, Table 7-8
	Dual Zoning		R-22/GC	

Chart 2-1: Land Use Designations

Residential TC-R-2



The Residential TC-R-2 land use designation is intended for single-family residential development in a typical subdivision.

Residential TC-R-7



The Residential TC-R-7 land use designation is intended for multi-family residential development which could include detached units (at the lower end of the density range), and/or attached units (at the higher end of the density range).

Residential TC-R-14



The Residential TC-R-14 land use designation is intended for multi-family residential development which could include multiple family attached units (at the lower end of the density range) and attached units, in the form of apartment and condominium buildings (at the higher end of range). This land use designation allows for smaller front yards and taller structures, in comparison to TC-R-7.

Residential TC-R-22



The Residential TC-R-22 land use designation is intended for residential development that typically could include mid-rise apartment and condominium buildings. This land use designation allows for reduced private open space and common space requirements, and taller structures, in comparison to TC-R-14.

Residential TC-R-30



The Residential TC-R-30 land use designation is intended for residential development that typically could include mid-rise apartment and condominium development with parking facilities incorporated into the building design. This land use designation allows for reduced private open space and common space requirements, and taller structures, in comparison to TC-R-14, as well as larger lot coverage percentages allowed in comparison to TC-R-22.

Floodway / Open Space



The Floodway/Open Space land use designation allows for controlled development within floodplains to protect the public health, safety, and welfare and to minimize hazards due to flooding.

Park / Open Space



The Park / Open Space land use designation allows for the development and operation of public parks and facilities to promote active and passive recreation. This land use designation limits development recognizing the adjacency to the San Diego River.

Commercial



The Commercial land use designation allows for small-scale, pedestrian-oriented retail, services and office uses, designed to serve the City or the region as a whole. This land use designation allows for structures up to 40 feet (except within 50 feet of a residential area).

Office Commercial



Office Commercial provides for employment and professional/administrative offices and personal services rather than commodities, with limited retail uses. This land use designation allows for reduced minimum lot widths in comparison to the commercial land use designation and allows for structures up to 40 feet (except within 50 feet of a residential area).

Trolley Commercial



Trolley Commercial allows a variety of commercial uses, such as retail, hotels, service stations and office, that serve residents and workers in the community and adjacent communities. office, that serve residents and workers in the community and adjacent communities, as well as visitors that arrive to Santee via the trolley.

Entertainment Commercial



The Entertainment Commercial land use designation allows for entertainment uses, such as a movie theater, as well as accessory uses such as restaurants, food halls, retail and services that enhance the user experience. This land use designation also allows for public gathering spaces and/or civic uses.

Institutional



The Institutional land use designation provides either public or private facilities that serve a public benefit that may serve the community or a broader area. Institutional land uses within the community consist mainly of public buildings and facilities, including but not limited to fire stations, health facilities, detention facilities, branch libraries, and educational facilities.



2.4 Neighborhood-Specific Key Elements

Each Neighborhood (identified in Figure 2-1) is characterized by a defined vision and a series of key elements that will help applicants, reviewers, and decision makers to ensure their streamlined implementation. These key elements relate to mobility, beautification, land use, and public infrastructure.

2.4.1 Arts and Entertainment Neighborhood

Vision

The Arts and Entertainment Neighborhood will be a prime destination within the City of Santee, with enhanced connectivity to the San Diego River, and a strong sense of place. The Neighborhood will become an attraction for residents and visitors to gather, with public spaces that incorporate features such as landscaping, water elements, shade, lighting, and wayfinding signage, as well as a strong emphasis on arts and culture, and connections to the natural environment. The following are key elements that will be necessary for the realization of the vision for the Neighborhood.

- ▶ Allow for a mix of uses that supports civic uses, arts and culture, entertainment, services, and amenities that serve the local residents and attract regional visitors (refer to section 2.3: Land Use Plan).
- ▶ Incorporate roadway facilities that provide multimodal connection through new residential areas, to allow the movement of people walking, bicycling, and riding transit in the area (refer to section 3.0: Mobility and Beautification).
- ▶ Develop a new pedestrian bridge across the San Diego River to provide a north-south connection and support events, passive and active recreation (refer to section 2.4.1.e).

Figure 2-4: Arts and Entertainment Neighborhood



- ▶ Incorporate a new pedestrian bridge on Cuyamaca Street, at the Cuyamaca Street / Town Center Parkway intersection (refer to section 3.0: Mobility and Beautification).
- ▶ Implement the Street Tree Plan and Landscape Standards applicable within the Neighborhood (Section 3.5).
- ▶ Implement the Arts and Entertainment Neighborhood Standard Signage Treatment (Figure 2-14 and 2-15) and the Gateways and Signage Plan (Section 3.6).
- ▶ Implement the Housing Element, through residential development within sites 16 and 20 (Section 2.4.1.b and 2.4.1.c).

The Arts and Entertainment Neighborhood includes four sites that were identified in the City of Santee Housing Element (2021-2029 Sixth Cycle). The sites are identified within the Housing Element Sites Inventory map and table as 16A, 16B, 20A, and 20B.

The Specific Plan provides a vision for the development of these sites, including objective design standards to guide their building design and site planning, illustrative concepts that showcase these standards, as well as roadway facility guidelines and standards for the new roadways required within these sites as part of their future development (refer to Sections 2.4.1.b and 2.4.1.d).

2.4.1.a Theater Site

This site consists of a 6.74-acre city owned vacant property and a 3.89-acre property where the San Diego Christian College operates. The site is located along Town Center Parkway, north of Trolley Square Plaza and south of the Parc One residential development.

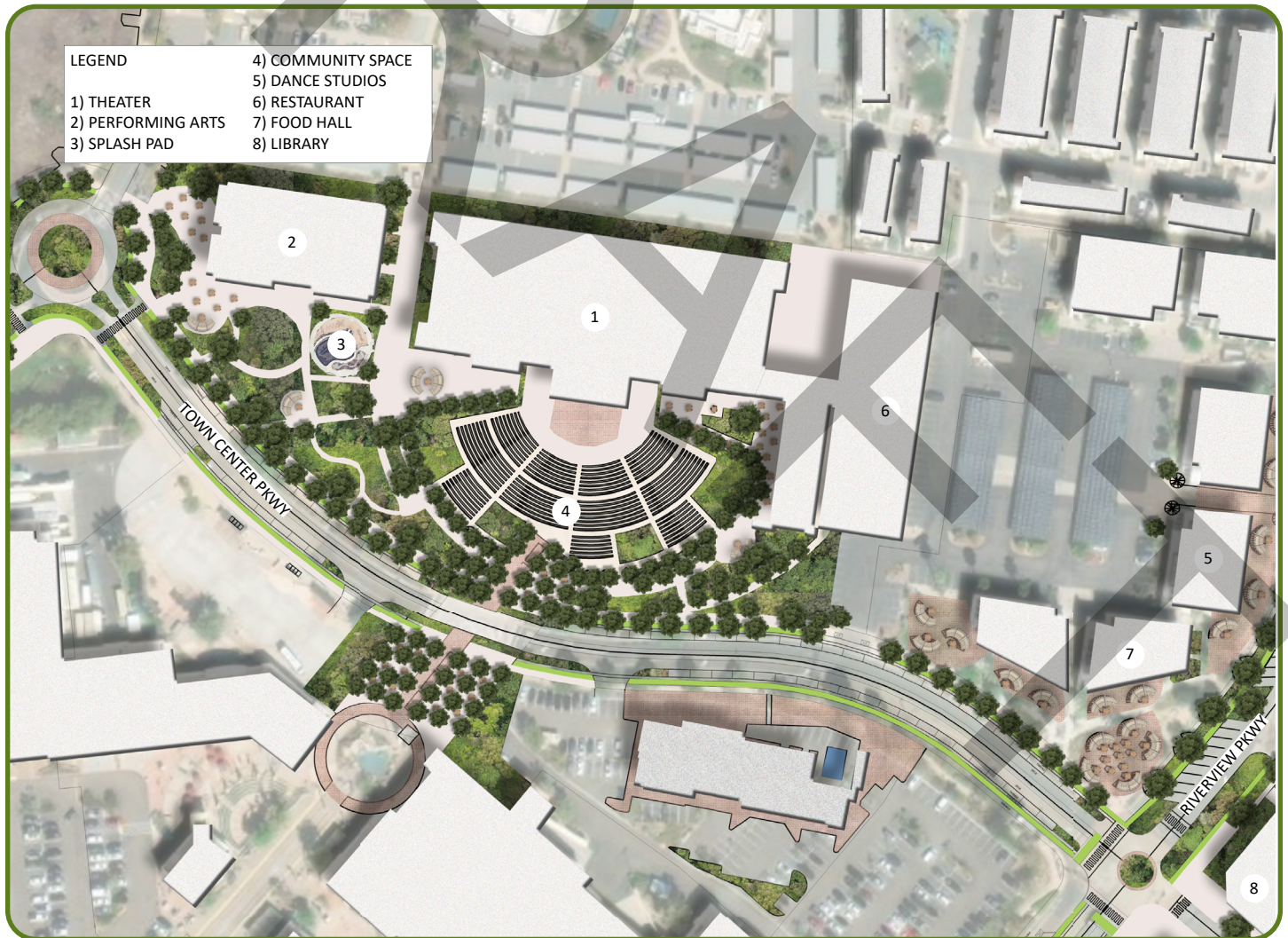
The site’s central location within the Specific Plan area and the Arts and Entertainment Neighborhood, and its immediate proximity to the terminus of the San Diego trolley line, provide an opportunity for the development of an attractive destination for Santee’s residents and visitors alike.

The Plan designates the area as Entertainment Commercial (refer to Figure 2-3: Land Uses and Table 2-1: Land Use Designations, and details the allowable/permitted uses in Section 7.0 of the Plan). Figures 2-4 and 2-5 illustrate the potential development of this site.

The following are the main objectives to be accomplished through the design and development of the site:

- ▶ Incorporate a community space that provides flexibility for public events, which may include concerts, live performances, festivals, art installations, among others.

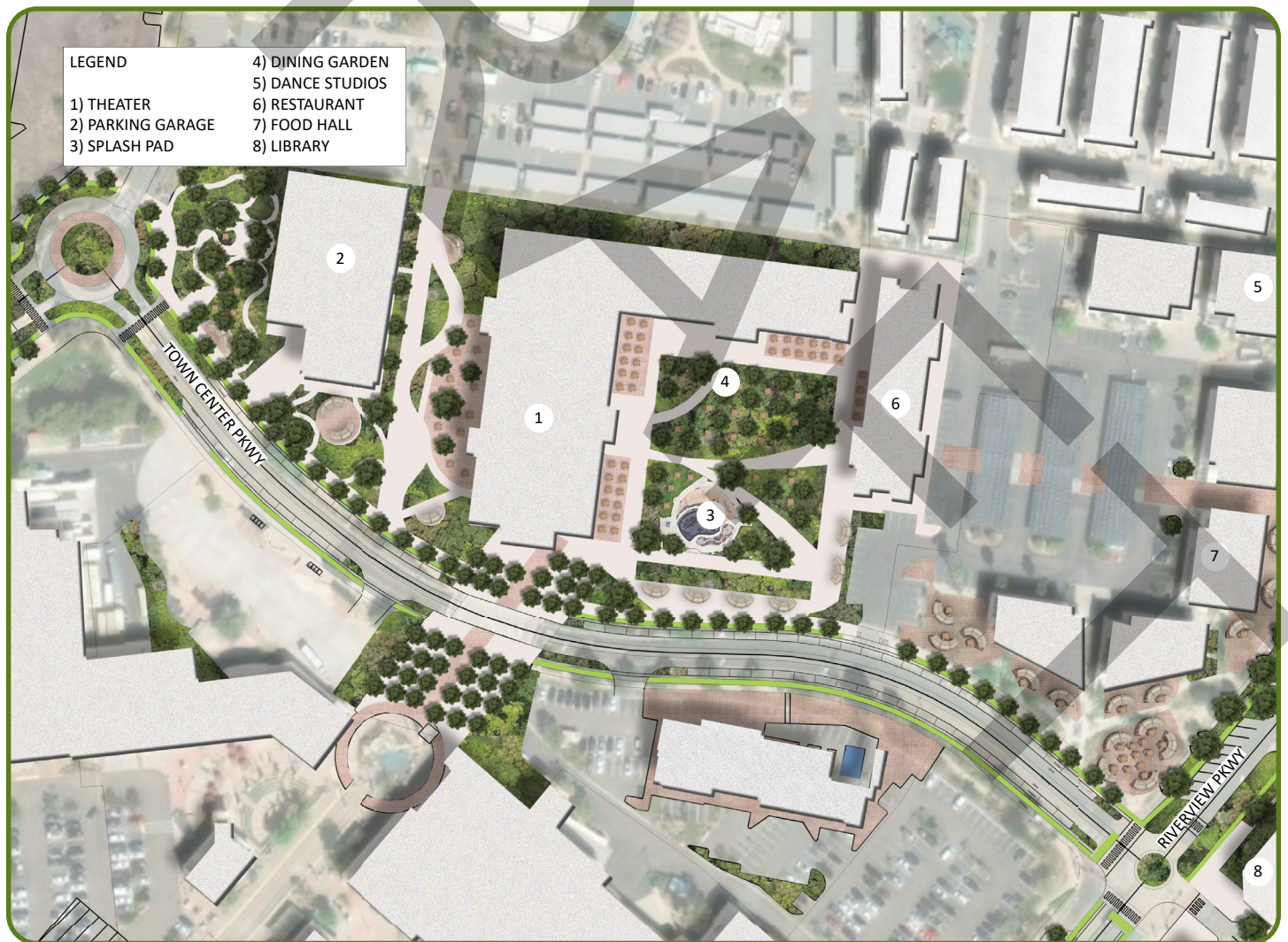
Figure 2-5: Theater Site Concept 1



- ▶ Develop a movie theater, complemented with accessory uses such as restaurants, food halls, retail and services that enhance the user experience.
- ▶ Incorporate public recreation facilities, such as a splashpad, a playground, picnic areas, among others.
- ▶ Incorporate facilities that promote arts and culture, such as a performing arts center, and dance studios.
- ▶ Incorporate building design and site planning that meets the objective design standards (included in Sections 2.5 and 2.6).



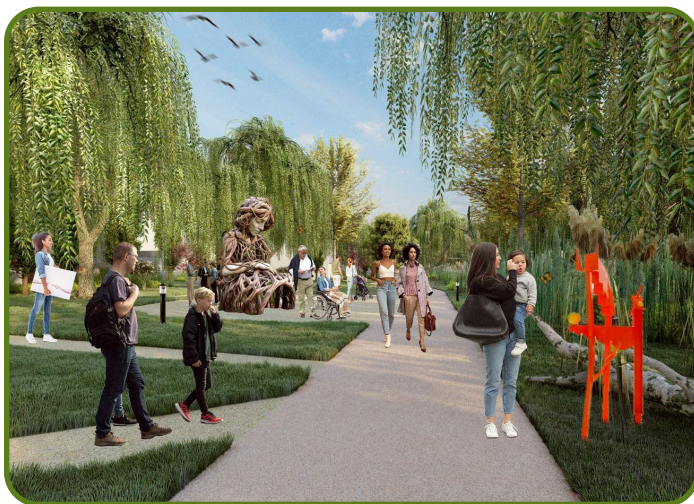
Figure 2-6: Theater Site Concept 2



2.4.1.b Site 16

This site provides opportunities for additional housing within the Town Center Specific Plan area, within proximity of the trolley station, services, and amenities, as well as recreational facilities. This site allows easy access to and from Trolley Square Plaza, via Town Center Parkway and Riverview Parkway.

The Plan allows a residential density of 30 to 36 dwelling units within 11.11 acres on the northern portion of the site (16A), and a residential density of 14 to 22 dwelling units per acre within 8.61 acres on the southern portion of the site (16B), as addressed in Figure 2-3: Land Uses and Table 2-1: Land Use Designations. Figure 2-5 and Figure 2-6 illustrate the potential development of this site.



The following are the main objectives to be accomplished through the design and development of the site:

- ▶ Provide residential development that implements the Housing Element by meeting and/or exceeding the density identified for this site.
- ▶ Incorporate a new roadway, Main Street, from Park Avenue to Town Center Parkway. Refer Section 3.2.11 for roadway standards.
- ▶ Incorporate non-residential uses on the ground floor along the “main street”. Refer to Figure 2-3, Table 2.1 and Section 7.4 for mixed-use overlay applicability.
- ▶ Design the “main street” to allow for closure to vehicular traffic, and allow for public events, such as farmers’ market, art installations and music performances.
- ▶ Incorporate an “art trail” along the channel that will connect from Mission Gorge Road to the San Diego river to the north. The “art trail” will include locations for sculpture and art installations.
- ▶ Provide a buffered transition along the eastern boundary of the site, to address its adjacency with the Las Colinas Detention Center (refer to Section 2.6 Objective Design Standards, Special Edge Conditions).
- ▶ Incorporate building design and site planning that meets the objective design standards (included in Sections 2.5 and 2.6).

Figure 2-7: Site 16 Residential Concept Option 1



Figure 2-8: Site 16 Residential Concept Option 2



Figure 2-9: Art Trail View 1



Figure 2-10: Art Trail View 2



Figure 2-11: Art Trail View 3



2.4.1.c Parcel 6 Commercial Site

This site, located along Mission Gorge Road, and designated as Commercial, provides opportunities for retail services and commodities that can serve an amenities for nearby residential amenities. The Plan includes two (2) options for consideration.

Option 1

Showcased on Figure 2-8, it illustrates the potential uses on the site with an emphasis on incorporating a theater, performing arts and dance studios. This concept also includes a plaza as a unifying element of the commercial uses.

Option 2

Showcased on Figure 2-9, it illustrates the potential uses on the site with an emphasis on incorporating a hotel, restaurant, outdoor dining, and a parking garage.

The following are the main objectives to be accomplished through the design and development of the site:

- ▶ Provide a mix of uses that promotes ground floor activity along the new “main street” that will consist of the extension of Park Avenue across the site connecting to Town Center Parkway. Refer Section 3.2.11 for roadway standards.
- ▶ Incorporate building design and site planning that meets the objective design standards (included in Sections 2.5 and 2.6).

Figure 2-12: Parcel 6 Commercial Concept 1

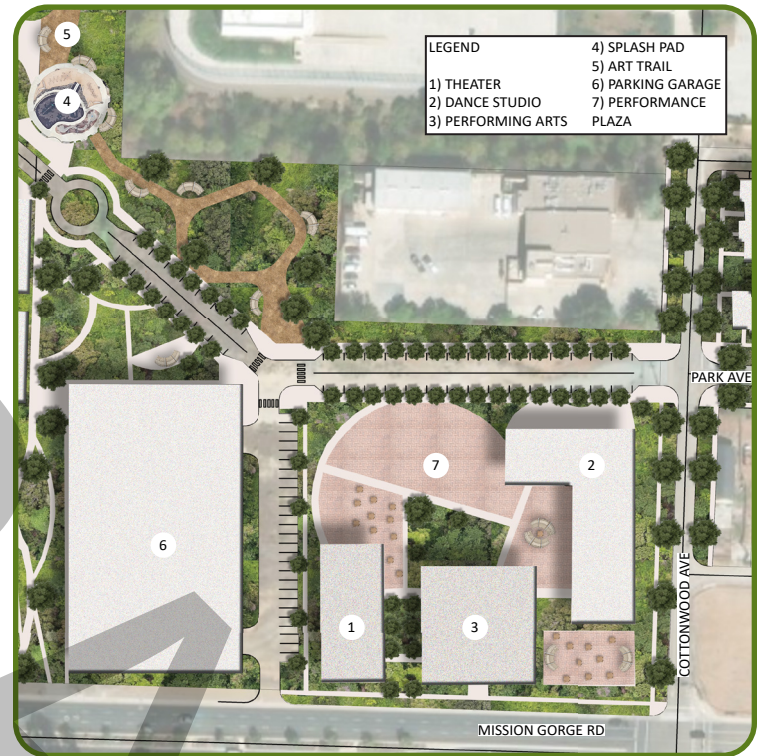


Figure 2-13: Parcel 6 Commercial Concept 2



2.4.1.d Site 20

This site is located on the eastern boundary of the Specific Plan area. Site 20 benefits from easy access to and from State Route 52, off Magnolia Avenue, and to and from Mission Gorge Road, via Edgemoor Drive.

An iconic structure, Edgemoor Barn, recognized as Santee's oldest building, is located north of this site. Edgemoor Barn, colloquially known as Polo Barn, is listed in the National Register of Historic Places by the United States Department of the Interior.

Site 20 is adjacent, on its southern boundary, to the area identified by the Plan as the Park Avenue Residential Neighborhood, which includes residential properties along Park Avenue bound by Third Street to the south, Cottonwood Avenue to the west, and First Street to the east.

The Plan allows a residential density of 22 to 30 dwelling units within 7.75 acres on the northern portion of the site (20A), and a residential density of 30 to 36 dwelling units per acre within 10 acres on the southern portion of the site (20B), as addressed in Figure 2-3: Land Uses and Table 2-1: Land Use Designations. Figure 2-8 illustrates the potential development of this site.

The following are the main objectives to be accomplished through the design and development of the site:

- ▶ Provide residential development that implements the Housing Element by meeting and/or exceeding the density identified for this site. Refer to Figure 2-3 Land Uses for density limits.
- ▶ Incorporate a north-south unifying roadway across the site, which will consist of an extension of Edgemoor Drive, and will connect to and from Park Avenue and the Edgemoor Barn property. Refer Section 3.2.12 for roadway standards.
- ▶ Incorporate non-residential uses on the ground floor fronting the north-south roadway (Edgemoor Drive extension). Refer to Figure 2-3, Table 2.1 and Section 7.4 for mixed-use overlay applicability.
- ▶ Incorporate building design and site planning that meets the objective design standards (included in section Sections 2.5 and 2.6).
- ▶ Provide a buffered transition along the western boundary of the site, to address its adjacency with the Las Colinas Detention Center.



Figure 2-14: Site 20 Residential Concept



2.4.1.e San Diego River Bridge

The Town Center Specific Plan is bisected east-west by the San Diego River. The river represents a major asset to the City of Santee and to the Specific Plan area. The river provides recreation opportunities and a rich environment to observe and enjoy nature, including wildlife and riparian vegetation.

Major recreation facilities are found north of the San Diego River, such as the Town Center Community Park (east and west), the Sportsplex, and the YMCA and Aquatics Center. The Plan envisions improving connectivity for all modes of transportation between uses north and south of the river.

The Plan designates the area as Floodway / Open Space (refer to Figure 2-13: Land Uses and Table 2-1: Land Use Designations, and details the allowable/ permitted uses in Section 7.0 of the Plan). Figures 2-9 and 2-10 illustrate the potential configuration of the San Diego River Bridge.

The following are the main objectives to be accomplished through the design and development of the bridge:

- ▶ Develop a bridge that allows the movement of multiple modes of transportation across the San Diego River.
- ▶ Incorporate lookouts across the bridge that provide opportunities for passive recreation, such as areas for art installations, interpretive signage, and seating.
- ▶ Design the bridge alignment in a manner that minimizes shades projected onto protected habitat areas as well as deters uncontrolled access to them.
- ▶ Incorporate lighting features that reduce light spillover into protected habitat areas while providing safety for the users of the bridge.

Figure 2-15: San Diego River Bridge Lookout Concept

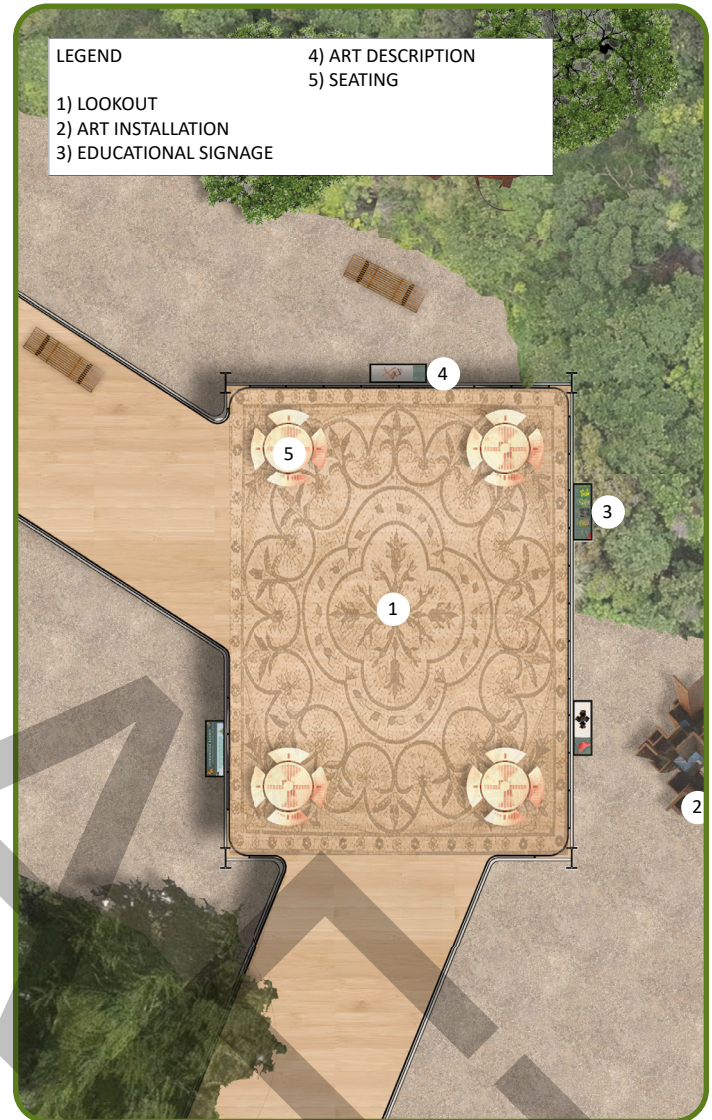


Figure 2-16: San Diego River Bridge Concept



Figure 2-17: Standard Signage Treatment - Arts and Entertainment Neighborhood (Arts)

Sign Materials

Sign Posts:

Opalescent color with random colorful stripes

Sign Base:

Polished Stone Face

Treatment Of Sign Panels Faces:

Dark green backgrounds with white type (typical for all signs)

Treatment Of Sign Panels Back:

Musical instruments, musical notes, ballet shoes, or paint palettes shown in yellow tone-on-tone

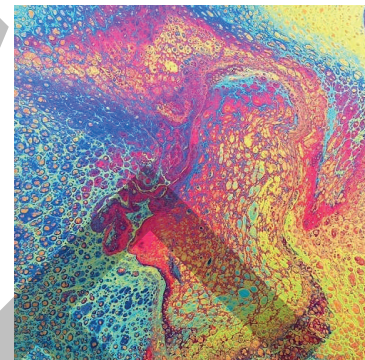
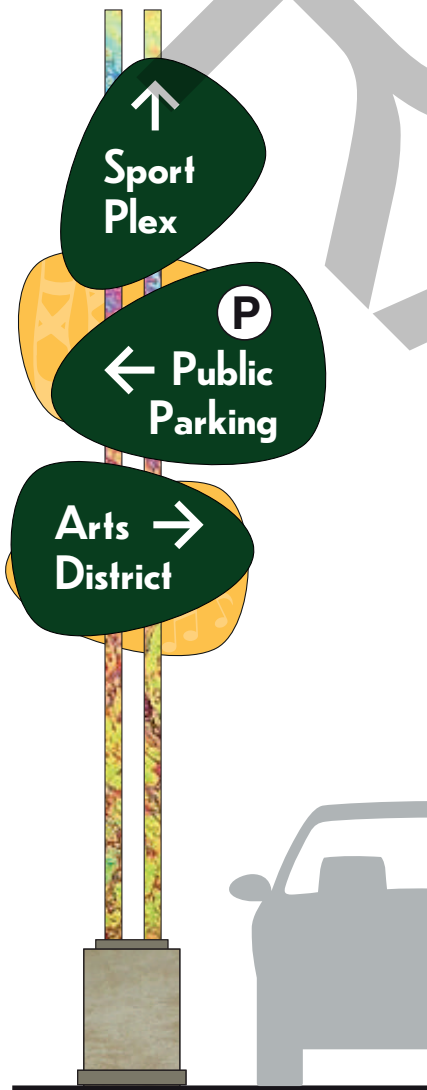


Figure 2-18: Standard Signage Treatment - Arts and Entertainment Neighborhood (Sports)

Sign Materials

Sign Posts:

Bright Grass Green

Sign Base:

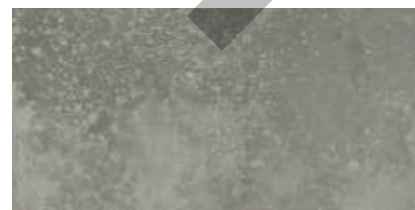
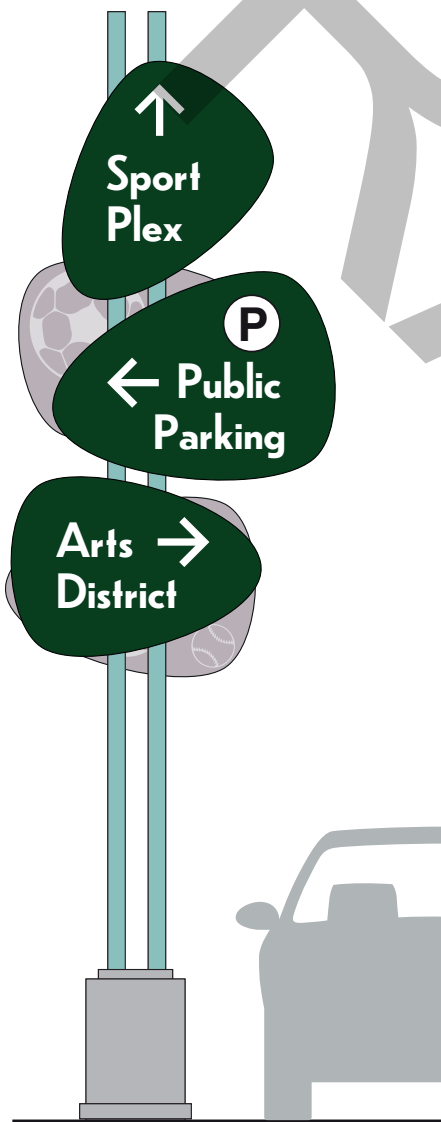
Smooth Finish Concrete Base

Treatment Of Sign Panels Faces:

Dark green backgrounds with white type (typical for all signs)

Treatment Of Sign Panels Back:

Images of sports balls/seams in gray tone-on-tone



2.4.2 Town Center Commercial Neighborhood

Vision

The Town Center Commercial Neighborhood will continue to serve the City of Santee with a great number of commercial uses, including a variety of retail and services options withing proximity to Mission Gorge Road and Cuyamaca Street. The Specific Plan recognizes the potential of this area to accommodate additional commercial square footage, along with the implementation of shared parking strategies among the properties in the Neighborhood.

The following are key elements that will be necessary for the realization of the vision for the Neighborhood.

- ▶ Implement the Housing Element, through residential development within the property identified as site 15 in the Sites Inventory Map (south of Walmart).
- ▶ Implement the Street Tree Plan and Landscape Standards applicable within the Neighborhood (Section 3.5).
- ▶ Implement the Commercial Neighborhood Standard Signage Treatment (Figure 2-17) and the Gateways and Signage Plan (Section 3.6).

Figure 2-19: Town Center Commercial Neighborhood



Figure 2-20: Standard Signage Treatment - Commercial Neighborhood

Sign Materials

Sign Posts:

Golden Brass

Sign Base:

Cobblestone Base

Treatment Of Sign Panels Faces:

Dark green backgrounds with white type (typical for all signs)

Treatment Of Sign Panels Back:

Silhouettes of bows or ribbons, boxes with bows, etc.
In lavender tone-on-tone



2.4.3 Mast Boulevard Residential Neighborhood

Vision

The Mast Boulevard Residential Neighborhood will continue to support the vitality of the Town Center Specific Plan area through its residential character, providing an influx of residents that live, work, and enjoy the community’s recreation facilities in the area. The Neighborhood will be improved by enhancing multimodal connections between existing and new residential developments and to the rest of uses within the Specific Plan area.

The following are key elements that will be necessary for the realization of the vision for the Neighborhood.

- ▶ Incorporate roadway facilities that provide multimodal connection through the Neighborhood, including Park Center Drive, between Mast Boulevard and Magnolia Avenue, and new residential roadways adjacent to Town Center Community Park (refer to section 3.0)
- ▶ Implement the Street Tree Plan and Landscape Standards applicable within the Neighborhood (Section 3.5).
- ▶ Implement the Residential Neighborhood Standard Signage Treatment (Figure 2-20) and the Gateways and Signage Plan (Section 3.6).
- ▶ Incorporate building design and site planning that meets the objective design standards (included in section 2.5 and 2.6).

Figure 2-21: Mast Boulevard Residential Neighborhood



2.4.4 Park Avenue Residential Neighborhood

Vision

The Park Avenue Residential Neighborhood holds underlying potential for new development to occur in the existing residential properties. The Neighborhood will benefit from its existing grid street pattern, Park Avenue's generous width, and proximity to retail and services, which can support gradual change within the framework of the densities allowed in the plan.

The following are key elements that will be necessary for the realization of the vision for the Neighborhood.

- ▶ Connect Park Avenue to a new roadway, Main Street, from Park Avenue to Town Center Parkway Refer Section 3.2.11 for roadway standards.
- ▶ Incorporate the reconfiguration of Edgemoor Drive, which will connect to and from Park Avenue and the Edgemoor Barn property. Refer Section 3.2.12 for roadway standards.
- ▶ Implement the Street Tree Plan and Landscape Standards applicable within the Neighborhood (Section 3.5).
- ▶ Implement the Residential Neighborhood Standard Signage Treatment (Figure 2-20) and the Gateways and Signage Plan (Section 3.6).

Figure 2-22: Park Avenue Residential Neighborhood



Figure 2-23: Standard Signage Treatment - Residential Neighborhood

Sign Materials

Sign Posts:

Rubbed Bronze

Sign Base:

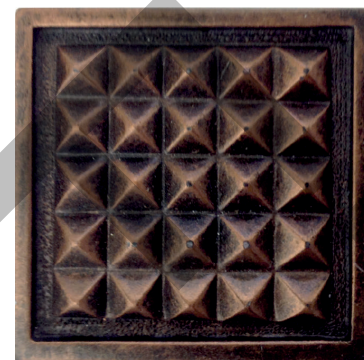
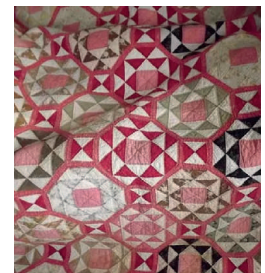
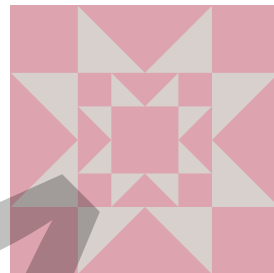
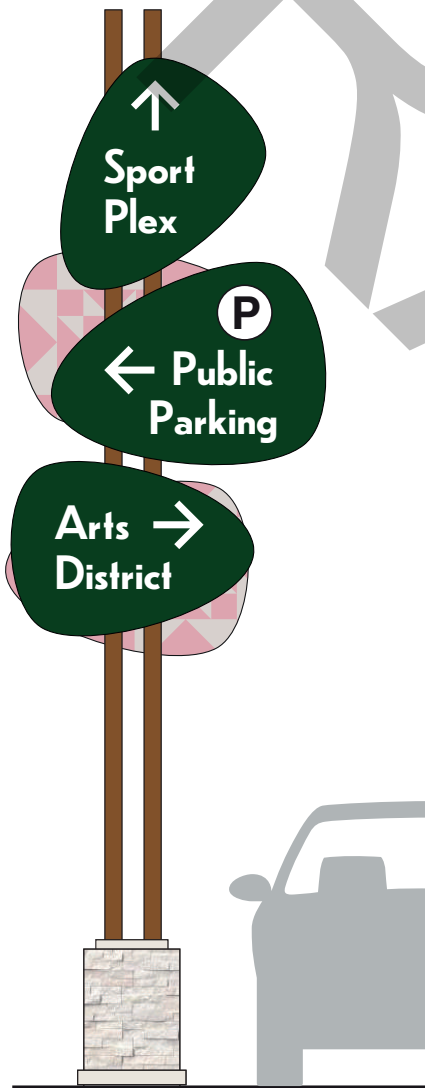
Stacked ledge stone with square cut edges

Treatment Of Sign Panels Faces:

Dark green backgrounds with white type (typical for all signs)

Treatment Of Sign Panels Back:

Quilt patterns in pink/white tone-on-tone



2.4.5 Institutional Neighborhood

Vision

The Specific Plan recognizes the properties found within the Institutional Neighborhood, the Las Colinas Detention and Reentry Facility and the Edgemoor Skilled Nursing Facility have reached their development potential and does not envision major changes in the upcoming years.

- ▶ No development and/or expansions are anticipated within the Neighborhood.
- ▶ Incorporate roadway facilities that provide multimodal connection around, to and from the Neighborhood, (refer to section 3.0: Mobility and Beautification).

Figure 2-24: Institutional Neighborhood





2.5 Objective Design Standards Definitions

This section provides the definition of key terms that are used in the Objective Design Standards that follow. These standards apply to all future multi-family and residential mixed-use development within the Specific Plan boundary. Key terms will be *underlined and italicized* in the standards and will indicate that there is a definition here associated with it.

- ▶ *“Back-of-House”*: Uses such as refuse areas, blank walls, utility closets, service areas etc...
- ▶ *Common Open Space*: Areas used for gathering or recreation such as parks and plazas.
- ▶ *Common Outdoor Area*: Spaces providing pedestrian connections, served by pedestrian pathways and public sidewalks. These are inclusive of common open space as well as private outdoor dining spaces adjacent to pedestrian pathways.
- ▶ *Enhanced Paving/stripping*: Stone, brick pavers, concrete unit pavers, poured-in-place concrete with stamped pattern or ornamental insets such as tile, decomposed granite, mosaic inserts, asphalt art
- ▶ *Landscape Peninsula*: An extension into the parking area of the landscape buffer that separates parking from a sidewalk. This landscape element shall be the same depth as the adjacent parking stalls.
- ▶ *Non-Sleeping Space*: Living room, kitchen, or other habitable space that is not separated from an adjacent entry/hallway with a door.
- ▶ *Parking Area*: Any surface parking lot, on street parking, Parking deck or parking garage.
- ▶ *Paseos*: A walkway located with buildings and landscape on both sides. Trees are to be incorporated as part of the landscape element to provide shade. Lighting and street furniture must be provided.
- ▶ *Pedestrian Connections*: A pedestrian pathway that connects one space to another. Pedestrian connections are allowed to cross streets provided that appropriate crosswalk striping and signage is provided.
- ▶ *Pedestrian Pathway*: Any sidewalk, paseo, trail, or other feature intended for pedestrian use as a means of access.
- ▶ *Publicly Accessible*: Any space not intended for exclusive use by site tenants/residents.

- ▶ ***Public Realm***: Anything adjacent to a public street, public walkway, trail or other public venue such as a playground, plaza, or entertainment space.
- ▶ ***Public Sidewalk***: Any sidewalk adjacent to a public street.
- ▶ ***Public Street***: Any street which is not exclusively used for accessing residential units, or loading/unloading areas.
- ▶ ***Shared Landscape Areas***: Common areas used for gathering or recreation, that provide appropriate seating, shade, light, and trash receptacle amenities. These areas can either be hardscape or planted.
- ▶ ***Street Facing***: Elements of a facade that are adjacent and parallel to a public road such as Riverview Pkwy, Town Center Pkwy, Park Avenue, etc...
- ▶ ***Trails***: Unpaved mixed-use pathways to be used by pedestrians and cyclists.
- ▶ ***View Corridors***: An unobstructed view path between two points.



2.6 Objective Design Standards

This section includes objective design standards that describe how new development will support and enhance the desired character, quality, and atmosphere within the Town Center Specific Plan area. At the core of these standards is the desire to create a welcoming pedestrian environment filled with visual interest and shaped by the surrounding architecture and landscape.

A. Engaging the Street

To ensure that buildings appropriately address unique site conditions and meet the ground in a meaningful way, buildings shall be designed to meet the following objective criteria.

- ▶ Entry to ground floor retail and shared lobby spaces that serve multiple tenants shall be street facing and immediately connected to a sidewalk.
- ▶ Any courtyard, plaza or outdoor dining area shall be accessible from a sidewalk.
 - ▷ Direct visual connections from the surrounding buildings shall be made through the use of windows and storefront glazing.
- ▶ All ground floor residential units shall include a porch or front yard and shall be a minimum 6' in depth, perpendicular to the face of the building. Fractional calculations shall be rounded up.
- ▶ Opaque walls are not allowed to delineate this space.
- ▶ Any fence or other landscape screening elements shall not exceed 3' in height.
- ▶ At least 45% of ground floor residential uses shall be treated with transparent or translucent glazing
- ▶ At least 75% of ground floor commercial shall be treated with transparent or translucent glazing measured from finish floor to finish floor
- ▶ The sill height of commercial glazing shall be no more than 30" above the adjacent exterior finished floor.
- ▶ Where it is infeasible to provide glazing along a wall such as; a parking garage, trash room, mechanical room, or electrical room then one (1) of the following options must be provided.

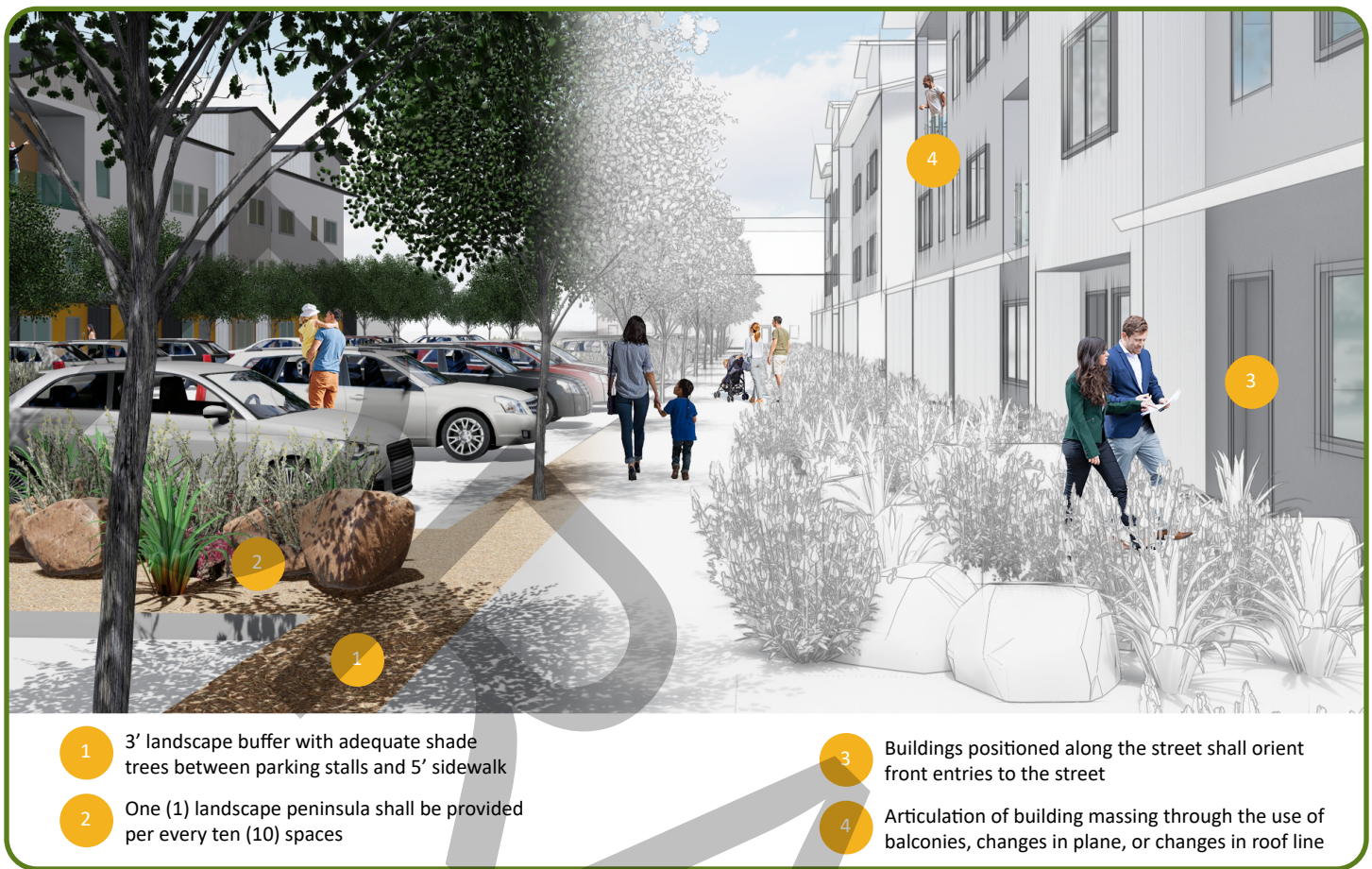


Figure 2-25: Engaging the Street

- ▶ Landscape area with a minimum dimension of 3' in depth and a width equivalent to 70% of the wall. OR a 2' landscape area AND a vertical trellis system made of either cable wire or wood, attached to the face of the building. The trellis shall span the full height of the ground floor.
- ▶ Where a use other than residential or parking is located at the ground floor, the minimum floor-to-floor height shall be 12'.
- ▶ Buildings positioned along a public street shall orient front entries to the street. Street facing residential units shall have covered front entries with a minimum recess or projection of 24 square feet in area.
- ▶ Residential units that are not adjacent to a public street shall have front entries oriented to common areas such as paseos, courtyards, parking areas, and shared landscape areas.
- ▶ Commercial/office unit entrances shall face a public street, a parking area, or a plaza.
- ▶ When a building has multiple entries along its frontage, one (1) of the following transitions between each separate tenant shall be provided.
 - ▶ Columns
 - ▶ Change in material
 - ▶ Change in plane a minimum of 1'
 - ▶ Vertical trim element
- ▶ "Back-of-house" uses are not allowed to face a public street.

B. First 30'

To create a human-scale environment and buildings that are compatible with and enhance the surrounding area, buildings shall be designed to meet the following objective criteria.

- ▶ Buildings shall incorporate the following features.
 - ▷ Articulation of all entrances through the use of one (1) of the following elements;



Active commercial frontages will incorporate human-scale building features.



Walkways within new development will incorporate clear paths of travel and will include landscaped buffers from vehicular traffic.

- Awnings
- 3' change in plane minimum
- Change in material
- Change in color
- 3' vertical change minimum in the roof line directly above the entrance
- ▷ Articulation of building massing through the use of two (2) of the following elements;
 - Balconies a minimum 6' wide and a minimum of 4' in depth (recessed or cantilevered).
 - A minimum 15' wide by 2' deep change in plane that extends the full height of the building.
 - 3' vertical change in the roof line that extends a minimum width of 15'.
- ▷ Residential units on the ground floor shall include at a minimum one (1) non sleeping space with window that faces a public street.
- ▷ Sconce or recessed can lighting at all entrances.
- ▷ At the top of the ground floor a minimum 1' wide horizontal band of a different plane shall be provided such as a cornice or lintel.
- ▷ Where vertical changes in building material or color occur, a minimum 1' wide horizontal band of a different plane shall be provided as separation such as a cornice or lintel.
- ▷ Where horizontal changes in building material or color occur, a minimum 1' change in plane shall occur for the entirety of that section of material or color.
- ▶ Buildings four (4) - stories or more shall incorporate the additional following features



Figure 2-26: Building Articulation and Massing

- ▶ Upper floors must break up their massing by providing balconies or projecting/recessing a minimum of 4' at typical structural bays along the elevation.
- ▶ Buildings taller than four (4)- stories must limit upper levels footprint to a maximum of 85% of the ground floor.
- ▶ One (1) *landscape peninsula* shall be provided per every ten (10) spaces. Islands shall be a minimum of 5' inside dimension.
- ▶ All end parking stalls shall be adjacent to landscape planters. The landscape planter shall contain a 12" strip of concrete inside the 6" curb of the planter to provide an 18" step. This step-out area shall not reduce the minimum 5' inside dimension of the planter.

C. Integrated Parking

To ensure that parking does not function as a standalone element, but instead is incorporated into the pedestrian experience, design shall meet the following objective criteria:

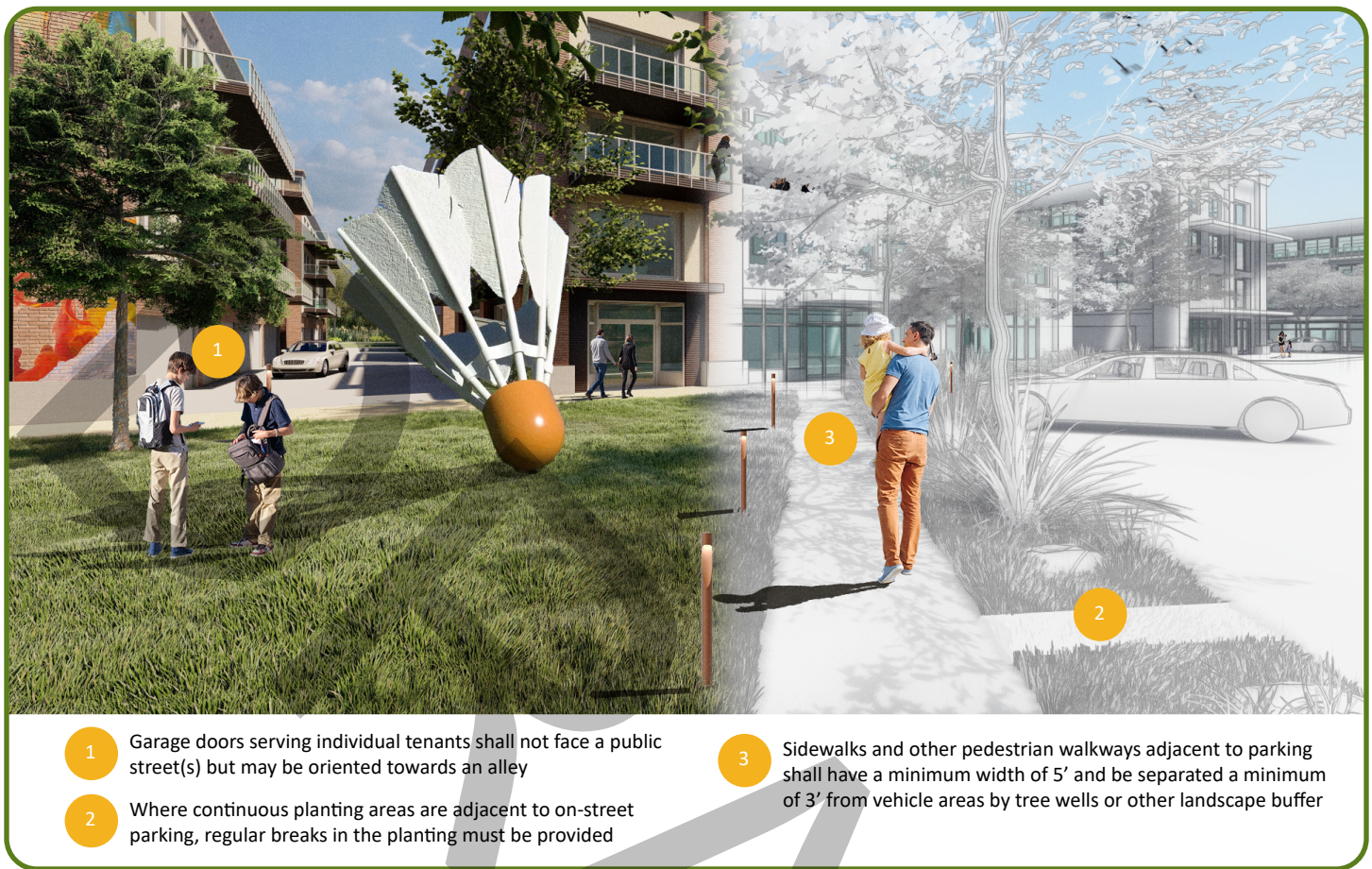
- ▶ Surface parking shall not be located between the building frontage and a *public sidewalk*.
- ▶ Trees shall be planted at a ratio of one (1) tree to every five (5) spaces.
- ▶ Sidewalks and other *pedestrian walkways* adjacent to parking should have a minimum width of 5' and be separated a minimum of 3' from vehicle areas by tree wells or other landscape buffers.
- ▶ *Enhanced paving* or striping shall be included where pedestrian crossing occurs in parking areas.
- ▶ Entry driveways shall have a minimum 12' deep full width enhanced treatment using



Trolley Square Plaza incorporates an amphitheater near the trolley station.

patterns and/or colored pavers, brick, or decorative colored and scored concrete.

- ▶ Where applicable, infiltration best management practices shall be integrated into the landscape to reduce the speed and amount of stormwater entering the MS4 from the parking or loading facility.
- ▶ For projects containing tuck under parking, parking garage, podium parking, etc...The following apply:
 - ▷ Garage doors serving individual tenants shall not face a *public street(s)* but may be oriented toward an alley or a private street/driveway that is internal to the project.
 - ▷ Garage doors cannot face a common space or play area.
- ▷ Above ground parking structures shall be screened, or wrapped with other active uses (retail, office, residential) along *public streets* leaving only the access points for vehicles visible.
- ▷ Facades of parking structures/garages that are not lined with active uses shall be screened using architectural and/or landscape solutions that are integrated into the structures design (e.g. perforated panels, “green walls”, vine screens, columnar trees, or art elements).
- ▶ When applicable, parking structures shall include photovoltaic treatments.
- ▶ Parking structures shall integrate audible warning systems when access driveways are near sidewalks.



- 1 Garage doors serving individual tenants shall not face a public street(s) but may be oriented towards an alley
- 2 Where continuous planting areas are adjacent to on-street parking, regular breaks in the planting must be provided

- 3 Sidewalks and other pedestrian walkways adjacent to parking shall have a minimum width of 5' and be separated a minimum of 3' from vehicle areas by tree wells or other landscape buffer

Figure 2-27: Integrated Parking

- ▶ To avoid ambient lighting on nearby buildings or open space, parking structure shall screen night lighting.

D. Pedestrian Linkages

To create an attractive, welcoming, safe, and active interface between private development and the public realm, buildings and site design shall meet the following objective criteria:

- ▶ Street edges shall be defined by tree wells or other landscape buffers a minimum of 3' deep. Where continuous planting areas are adjacent to on-street parking, regular breaks in the planting area must be provided a minimum of every 25'.
- ▷ Street trees shall be planted in aligned rows centered within planting strips, or within tree wells within the sidewalk at the back of the curb.

- ▶ Walkways shall be a minimum 5' wide flanked on both sides with landscape.
 - ▷ Landscape elements shall not exceed 3' in height.
 - ▷ Shade trees shall be provided so that at maturity a minimum of 75% of the walkway is shaded.

- ▶ Where T-intersections occur, mid block crossings must be provided.
- ▶ Chain link fences, wooden fences and unfinished freestanding or retaining cinderblock walls shall be prohibited.
- ▶ Gated communities are not allowed.

Bicycle locker at MTS station

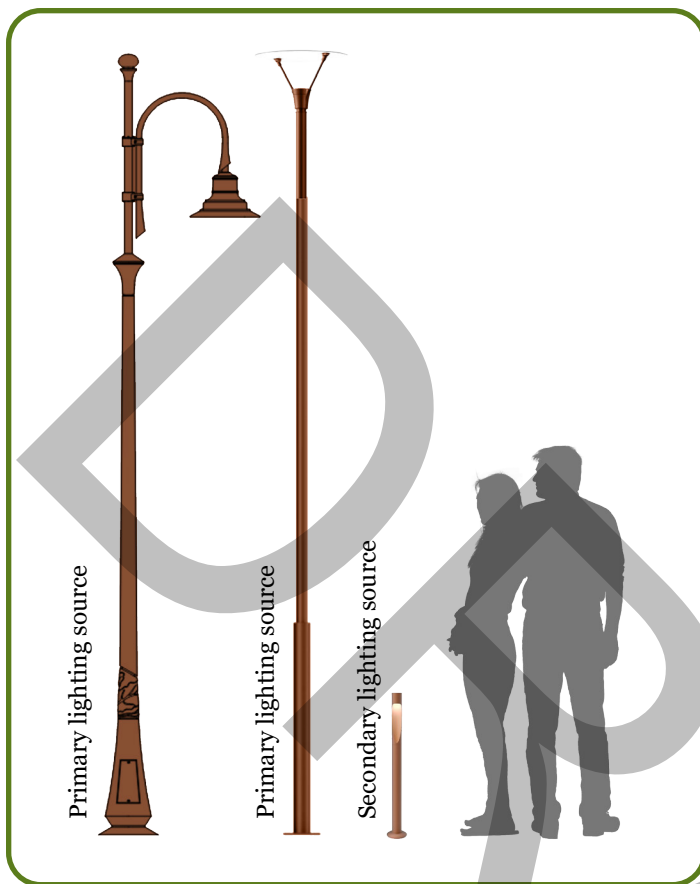


Figure 2-28: Example of Light Fixture Variation

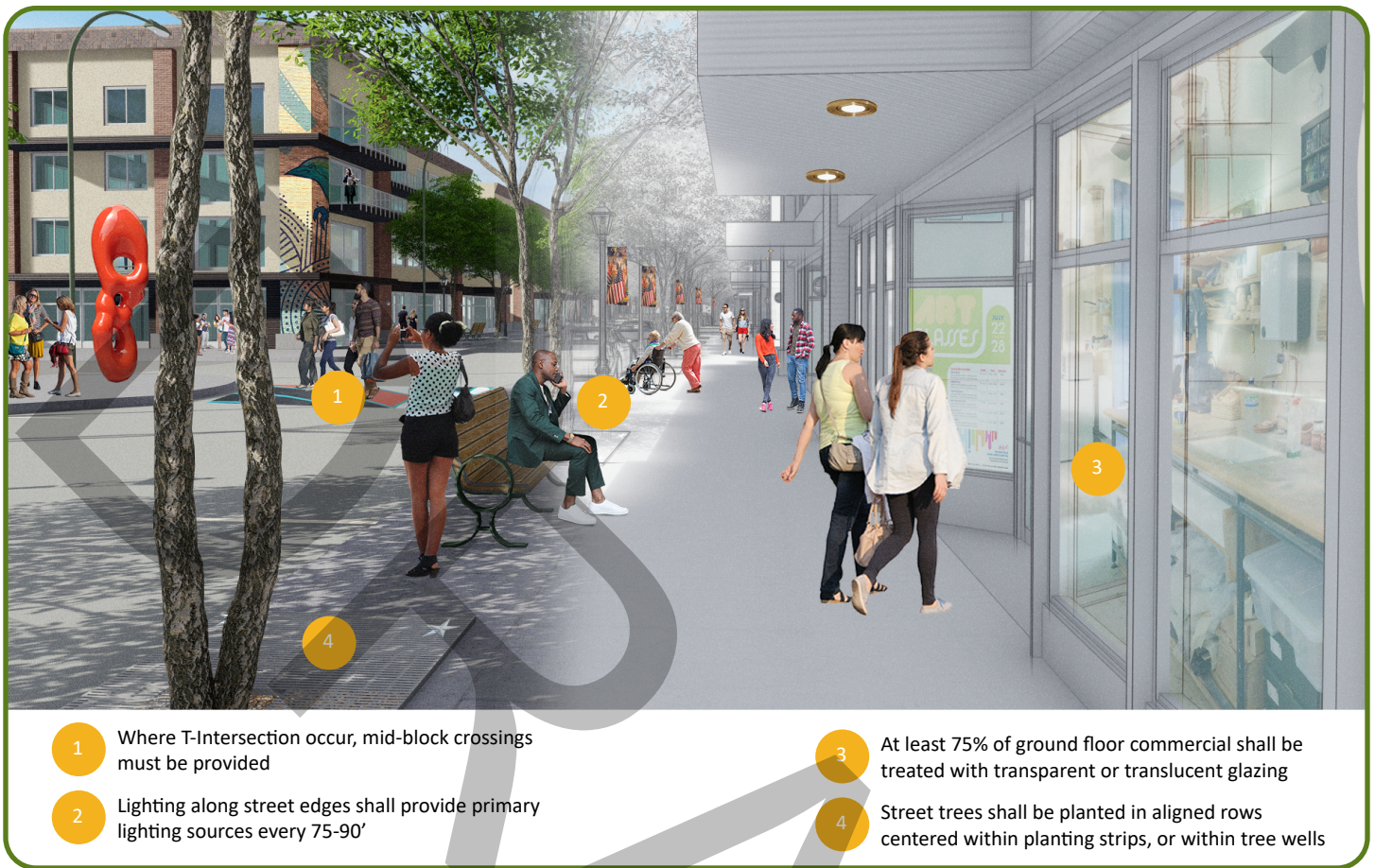
Art

- ▶ Developments within the Arts and Entertainment Neighborhood shall provide as an amenity a minimum of one (1) art piece in the public realm, subject to approval from the City.
 - ▷ Art in the public realm may include but is not limited to; sculpture, murals, electronic treatments, asphalt art, landscape, water features, mosaics, and fabric.
- ▶ Art in the public realm shall be located directly adjacent to public sidewalks, pedestrian pathways, and common outdoor areas.
- ▶ Art in the public realm shall be located at regular intervals along pedestrian pathways and trails. Minimum one (1) per block, or every 200' whichever is lesser.

- ▶ Common spaces accessible to the public shall include art elements in the form of custom light fixtures, seating, or shading devices at a rate of one (1) per 1,000 square feet.

Lighting

- ▶ All exterior lighting used for roadways and pedestrian pathways shall be cut-off fixtures.
 - ▷ Market lights or string lights are allowed along the Parkway between Riverview PKWY and the Las Colinas Drainage Channel, within plazas, along paseos, and at any outdoor dining location.
- ▶ Lighting along pedestrian pathways shall provide a minimum of two (2) lighting sources.
 - ▷ Primary lighting sources shall be spaced every 75-90' and shall be 12'-15' in height.
 - ▷ Secondary lighting sources shall be spaced every 20'-25' and shall not be taller than 44"
- ▶ Lighting along trails shall provide the following lighting sources.
 - ▷ Secondary lighting sources shall be spaced every 20' and shall not be taller than 44"
 - ▷ Ambient lighting sources shall be integrated into adjacent railing systems where applicable
- ▶ Lighting along street edges shall provide primary lighting sources every 75-90' and shall be 12-15' in height.
- ▶ Uplighting is allowed in the following locations:
 - ▷ When used as part of an approved art installation or sculpture.
 - ▷ In landscape areas to highlight accent plant material.



- 1 Where T-Intersection occur, mid-block crossings must be provided
- 2 Lighting along street edges shall provide primary lighting sources every 75-90'
- 3 At least 75% of ground floor commercial shall be treated with transparent or translucent glazing
- 4 Street trees shall be planted in aligned rows centered within planting strips, or within tree wells

Figure 2-29: Pedestrian Oriented Street Edge

- ▶ Light sources shall have a correlated color temperature (CCT) no greater than 4000K.
- ▷ In areas where lighting is provided primarily for pedestrian use and safety, CCT between 2,700K and 3,200K is required.

Utilities

- ▶ Wall-mounted utility elements such as vents, exhausts, wires, conduits, junction boxes, transformers, ballast, backflow devices, irrigation controllers, switch and panel boxes, and utilities such as gas and electrical meters shall be located at interior corners of building walls or behind landscape elements and not visible from a public right-of-way.

Street Furniture

- ▶ Publicly accessible common areas shall provide seating and ornamental trash and recycling bins.
- ▷ Where planter walls are provided, seating elements shall be integrated into the planter wall itself.
- ▶ Seating shall be provided at each block within 30' of an intersection or mid-block crossing.
- ▶ Seating shall be provided along pedestrian pathways and trails at regular intervals not to exceed 150'.
 - ▷ Seating shall be arranged in ways that either face the trail/pathway or face each other to accommodate different uses.
 - ▷ Seating shall not be sited to face towards any parking area.

- ▷ Seating must be integrated within the landscape by being set outside of designated walking paths, and paired with a minimum of one (1) of the following accessories
 - Trash or recycling bins
 - Shading devices
 - Shade tree
 - Artwork
 - Lighting fixture



Bicycle locker at MTS station



Figure 2-30: Example of Various Furniture Elements

- ▶ Light fixtures and other street furniture elements should be made of durable high-quality material such as painted fabricated steel, painted cast iron, painted cast aluminum, and cast concrete.
 - ▷ Steel fixtures must be galvanized in order to protect against rust and weathering.
 - ▷ Paint over the galvanizing (“duplex” system) is allowed, but must include a UV-protectant clear coat.
 - ▷ Seating can incorporate wood elements.
- ▶ Bike racks/lockers
 - ▷ Bicycle racks shall be made of stainless steel, cast ductile pipe, or hot-dip galvanized steel pipe.
 - ▷ Bicycle racks shall be mounted to concrete surfaces or subsurfaces.
 - ▷ Bicycle racks shall not require lifting of the bicycle in order to secure.
 - ▷ Bicycle racks shall fall under one of the following styles: Inverted-U shape, horseshoe, and loop. Lockers are also acceptable.
 - ▷ Custom-designed art rack styles are also encouraged, provided they meet the above functional and material requirements.

Signage

- ▶ When incorporated, light features of any kind shall remain constant in their color and intensity.
- ▶ Freestanding signs shall be stationary in all components.



- 1 Locations for sculpture and art installations shall be provided at regular intervals
- 2 The Riverview Art Trail shall meander and maintain a width of 12'

- 3 Lighting along trails shall provide primary lighting sources spaced every 15'-20' and shall not be taller than 44"
- 4 Art in the public realm may include but is not limited to; sculpture, murals, electronic treatments, landscape, etc...

Figure 2-31: Pedestrian Linkages

Special Edge Conditions

A major feature of Town Center is the Riverview Art Trail, connecting Riverview Parkway at the north to Mission Gorge Road at the south. It is important that projects directly engage, provide access, and maximize views to the public amenity. In addition, any new or redevelopment of properties which abut the San Diego River must adhere to the following requirements:

- ▶ The Riverview Art Trail shall meander and maintain a width of 12'.
- ▶ Railing along the Riverview Art Trail, or any other trail along the San Diego River shall be made of galvanized steel and aircraft cable.
 - ▷ Lighting shall be incorporated into the railing system to satisfy the lighting requirements of a secondary lighting source.

- ▶ Locations for sculpture and art installations shall be provided at regular intervals a maximum of 250' feet apart along the Trail.
- ▶ View corridors and pedestrian connections from Riverview Parkway to the Trail shall be provided at a minimum every 500'.
- ▶ Educational signage describing local ecology and wildlife shall be placed at regular intervals along the Trail a maximum of 500' apart.
- ▶ Wayfinding signage must be located at all trail connections.
- ▶ Buildings should maintain a minimum 10' setback from the Trail at any given location.
- ▶ Buildings directly adjacent, and taller than three (3)-stories must step away from the open space above the 3rd floor a minimum of 10'.

- ▶ Courtyard and other communal spaces shall be provided along the open space and make direct connections to the trail.
- ▶ All ground floor non-residential uses must directly connect to the Riverview Art Trail and any other trails along the San Diego River.
 - ▷ Where applicable, residential units must be located at the ground floor and oriented to face the Trail.
- ▶ “Back-of-house” functions are not allowed to face the Riverview Art Trail.

- ▶ The east side of the Riverview Art Trail shall be planted with evergreen trees and other screening vegetation to visually buffer the Las Colinas Detention and Reentry Facility.
 - ▷ At all other locations adjacent to the Las Colinas Detention Facility, trees and other screening vegetation shall be used as a visual and security buffer.

E. Open Space and Recreation

To ensure that residents and visitors have access to usable open space and common facilities that provide recreational opportunities, promote a safe environment, and enhance the pedestrian experience, common area and open space design shall meet the following objective criteria:

- ▶ Softscape shall be located in all outdoor areas that are not specifically used for parking, driveways, walkways, patios, or other recreation amenities listed at the end of this section.
- ▶ Paved areas shall not exceed 40% of the area fronting a public space.
- ▶ Plants shall be grouped in high and low maintenance zones to minimize the use of water and efficiently locate irrigation needs.
- ▶ Common open space shall not be bordered by streets or parking on more than one (1) side.
- ▶ Hardscape space should not comprise more than 30% of common outdoor areas.
 - ▷ Performance spaces, such as outdoor amphitheaters, with fixed seating, do not count towards allowable hardscape area.
- ▶ Courtyards and common outdoor areas shall be visible from the street, parking areas, pedestrian pathways, storefronts or residential uses.
- ▶ Decorative water features, including but not limited to decorative fountains, reflective pools, spray/mist fountains should be confined to high-use and visibility areas.



Riverview Apartments provides connectivity to trails along the San Diego River.



Amenities with direct connection to River Art Trail.

- ▷ Re-circulating water shall be used for all decorative water features.
- ▶ Pedestrian pathways shall be made of the following:
 - ▷ Stone
 - ▷ Brick pavers
 - ▷ Concrete unit pavers
 - ▷ Poured-in-place concrete with stamped pattern, or ornamental insets such as tile
 - ▷ Decomposed granite
- ▶ Both seasonal and year-round flowering shrubs and trees should be used along pedestrian pathways and near common open space, or as a frame for building/unit entrances.
- ▶ Projects shall provide both passive and active recreation amenities. The size for passive recreation amenities shall at a minimum be 600 square feet total. The size for active recreation amenities shall at a minimum be 2,000 square feet total. Required amenity areas may be combined into a single area, or separated into multiple spaces.
 - ▷ Passive recreation amenities include community gardens, outdoor gathering/seating area, picnic/barbque area, pet area/dog park, or courtyard/plaza.
 - ▷ Active recreation amenities include playground/tot lots, sport court/field, outdoor fitness area, swimming pool, exercise structure or complex, clubhouse w/kitchen, recreation hall.
- ▶ Multi-family developments with more than 15- units shall provide a play area with at least two (2) structured play modules (e.g., slide and sand box, or tunnel and climber) and a picnic table adjacent to the play area. This required play area can count towards the total square feet required for active amenities.

F. Bird Safe Treatment

In recognition of the specific plan area being in close proximity to the San Diego River and its associated habitat, new projects, specifically north of Town Center Pkwy., west along the Riverview Art Trail, and the area between Riverview Pkwy, Magnolia Ave., and Las Colinas Detention and Reentry Facility, should be sensitive to the interface and transition between urban and natural areas. Special design consideration consistent with this section should be applied to lighting, landscape, and facade treatments as these three areas most directly affect birds and their associated habitat.

- ▶ Glazing treatment or architectural design shall be used to reduce the amount of untreated glazing to less than 10% of the building facade above the ground floor including, but limited to:
 - ▷ Film and art treatment of glass
 - ▷ External screens
 - ▷ Architectural features such as awnings, overhangs, and louvers that block the view of glass. When these elements are used, window treatments that reduce reflections shall be used in conjunction.
 - ▷ Fritted or frosted glass



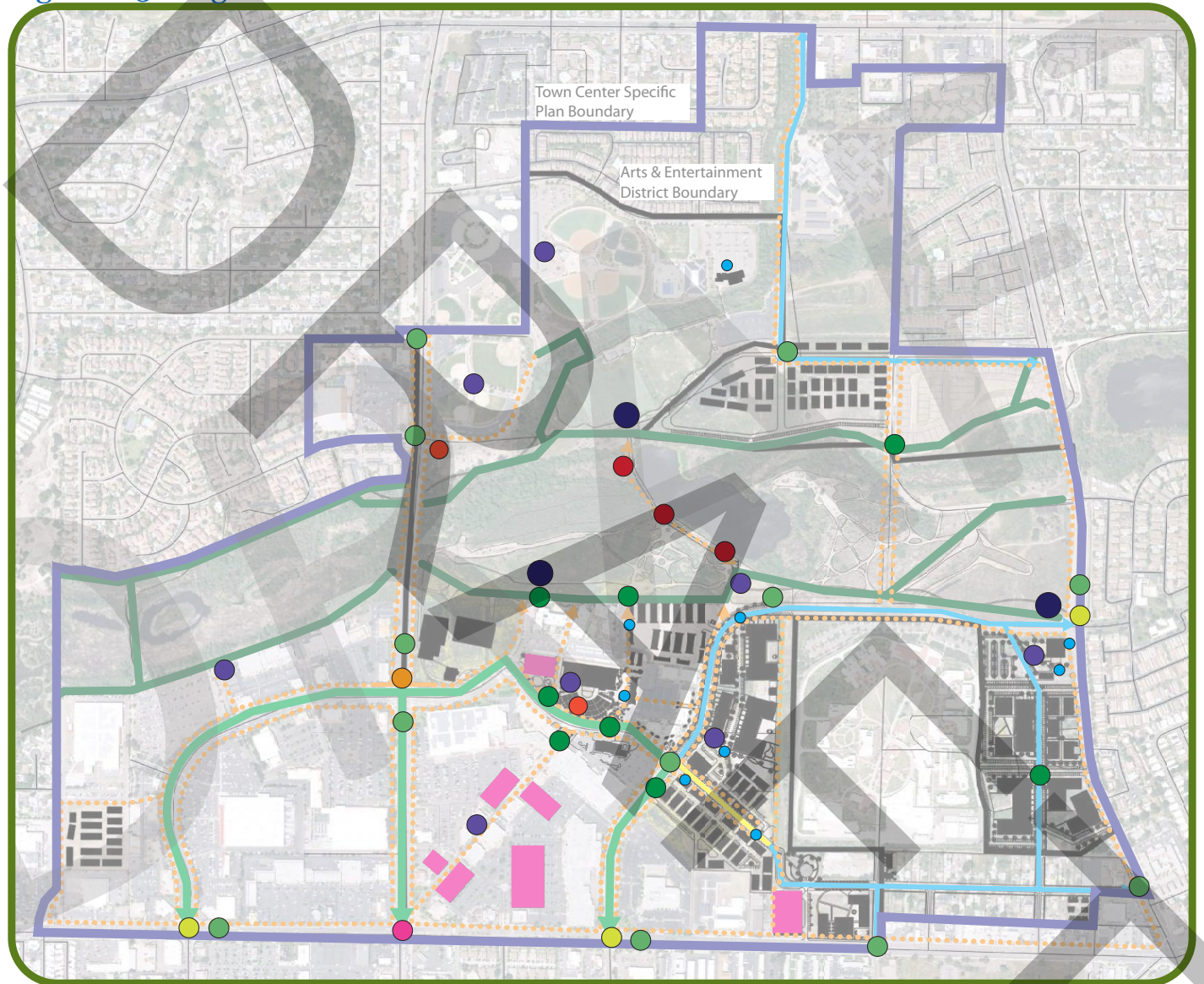
Riverview Apartments incorporates residential common spaces and amenities, including a swimming pool.

- ▷ Ultraviolet glass that reflects UV light perceptible to birds.
- ▷ Opaque glazing
- ▶ Glass that is interrupted by mullions, grills, louvers, screens, etc...shall follow the “2x4 Rule”, which describes the maximum distance between elements in bird deterring patterning.
- ▶ Balconies using glass railings must also comply with this section.
- ▶ Treatments recommended by a qualified biologist may be accepted on a case-by-case basis.
- ▶ Landscape shall be designed to keep birds away from the buildings facade through the following standards:
 - ▷ Trees and other vegetation shall avoid being reflected on building surfaces.
 - ▷ Trees and other vegetation planted adjacent to a reflective surface shall be planted no further than 3’ from that surface.
- ▶ Building edges shall be clearly defined at exterior courtyards and recessed areas with opaque materials or non-reflective glazing.
- ▶ Buildings shall be designed to minimize external lighting, other than what is required for pedestrian safety and security.
- ▶ Red and blue lights shall be limited to what is required for security and safety warning needs.

2.7 Gateways and Public Signage

New development and improvements in the public right-of-way shall implement the Sign Location Plan (refer to Figures 2-31 through 2-41).

Figure 2-32: Sign Location Plan



LEGEND

- | | |
|--|--|
|  Branding on Bridge |  Landscape Median |
|  Primary ID Monument |  Parkway |
|  Secondary ID Monument |  "Main St." |
|  Subdistrict Identification |  Pedestrian Connectivity |
|  Facility/Zone Identification |  Trails |
|  Vehicular Directionals |  Parking Garage (Options) |
|  Pedestrian Directionals |  Specific Plan Boundary |
|  Pedestrian Directory |  Arts & Entertainment District Boundary |
|  Trail Masthead | |
|  Trail Interpretive Signs | |

Figure 2-33: Branding Concepts

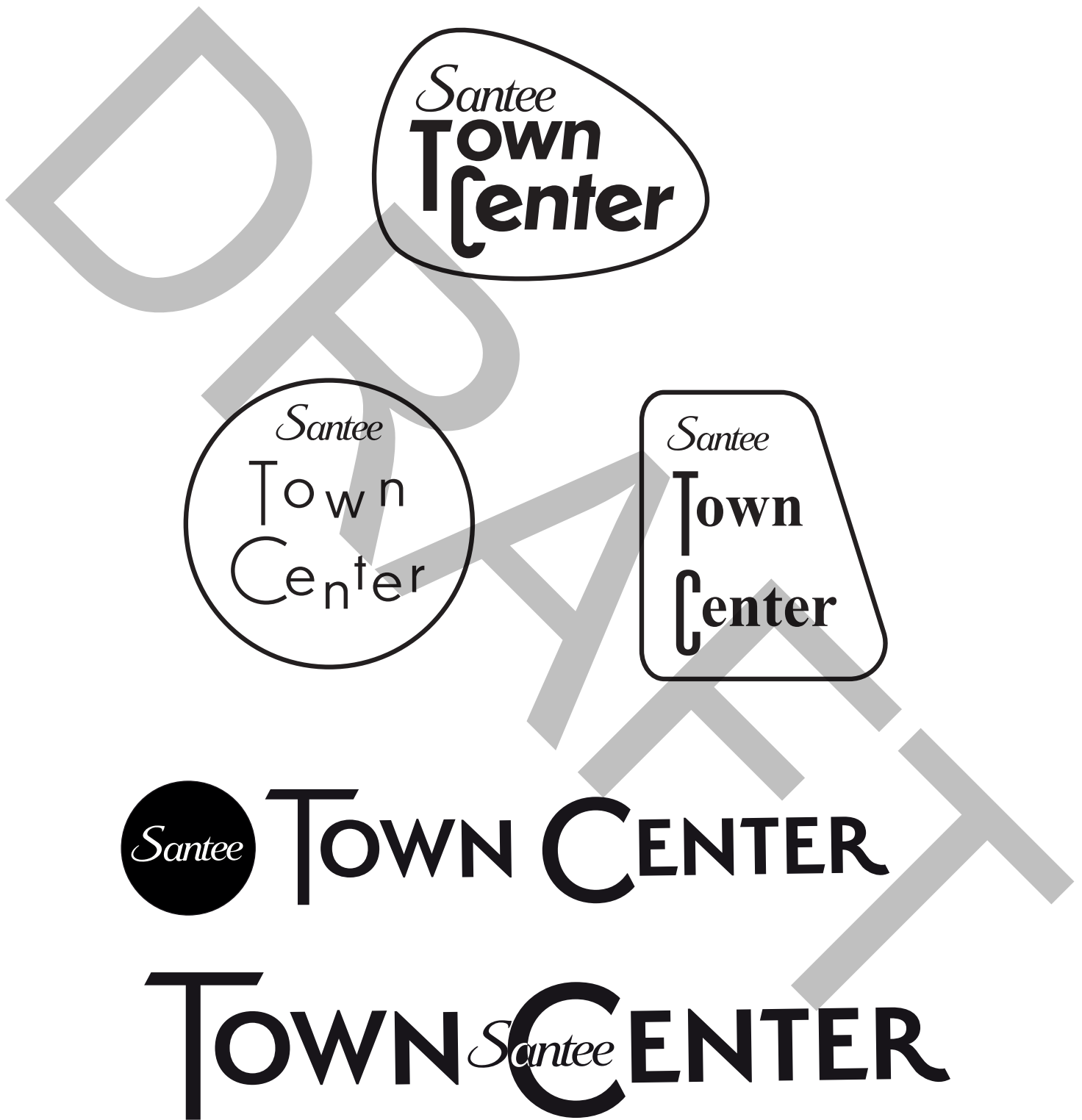


Figure 2-34: Bridge Treatment Option A - Daytime View



Figure 2-35: Bridge Treatment Option A - Nighttime View

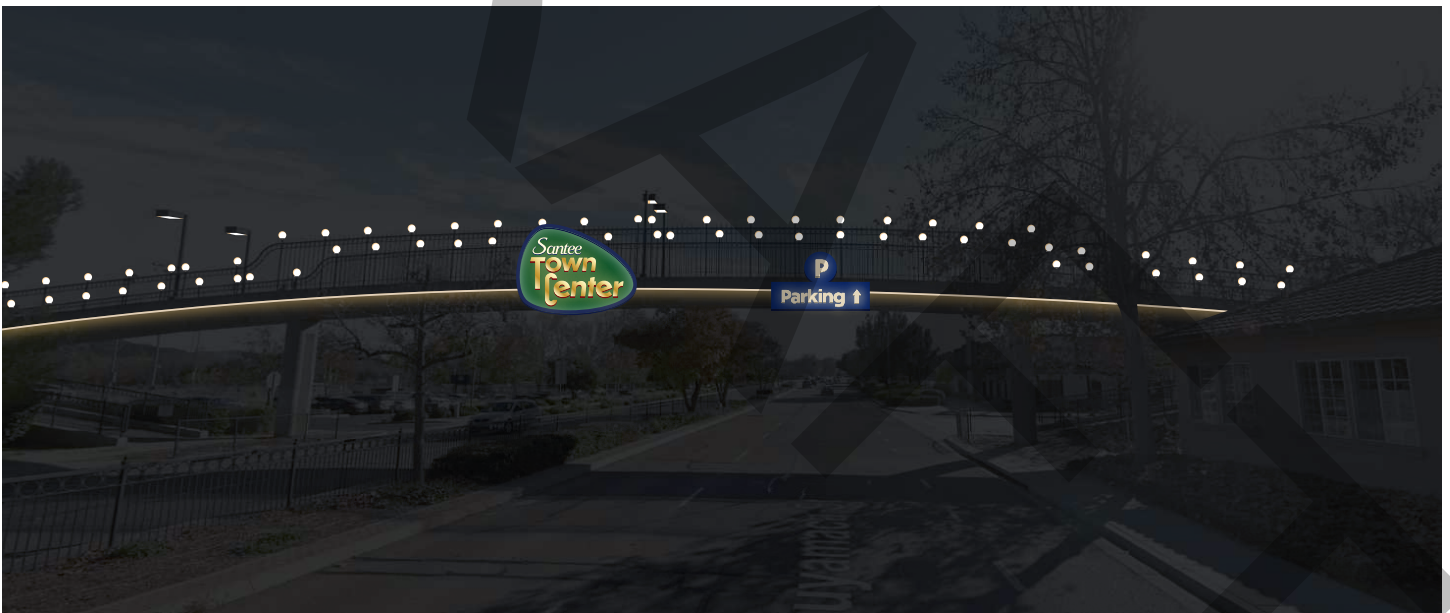


Figure 2-36: Bridge Treatment Option B - Daytime View



Figure 2-37: Bridge Treatment Option B - Nighttime View



Figure 2-38: Monument Sign Option B - Daytime View



Figure 2-39: Monument Sign Option B - Daytime View

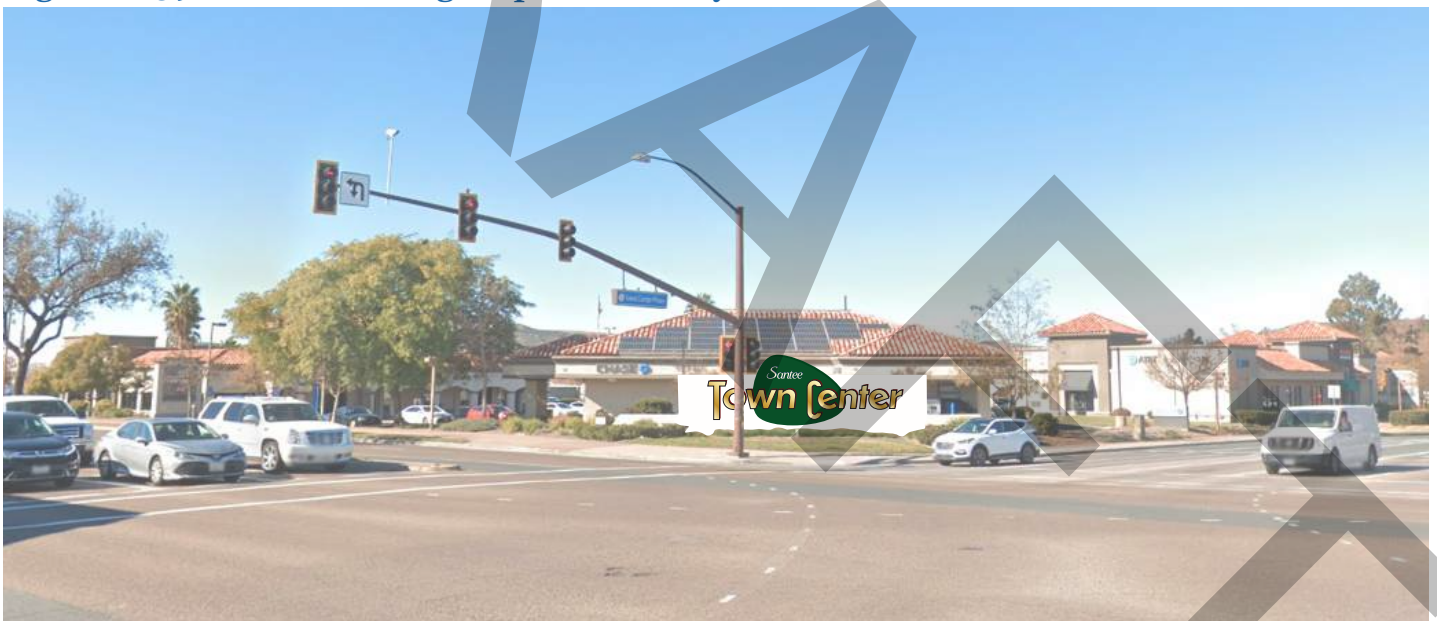


Figure 2-40: Sign Concept A

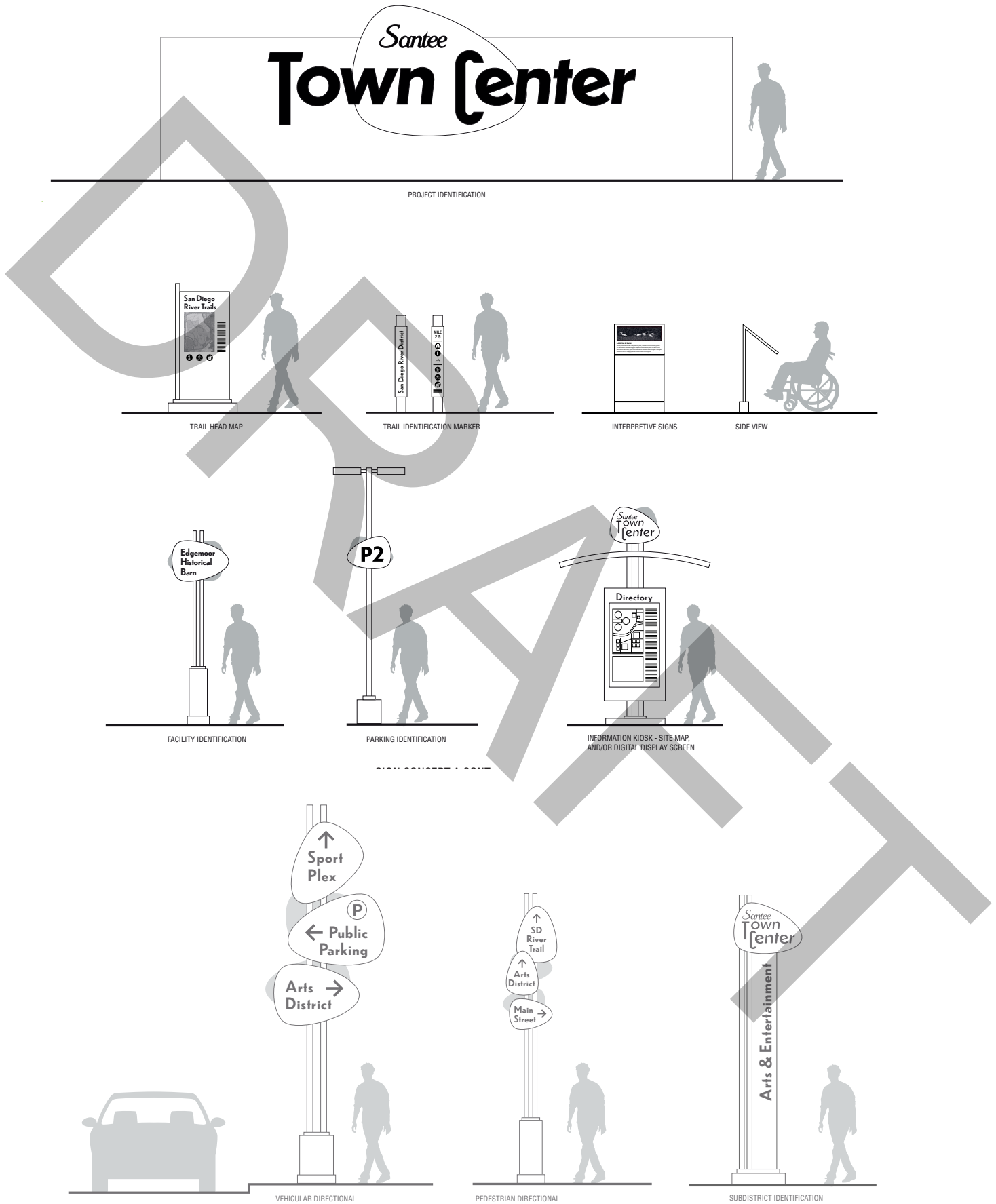


Figure 2-41: Sign Concept B

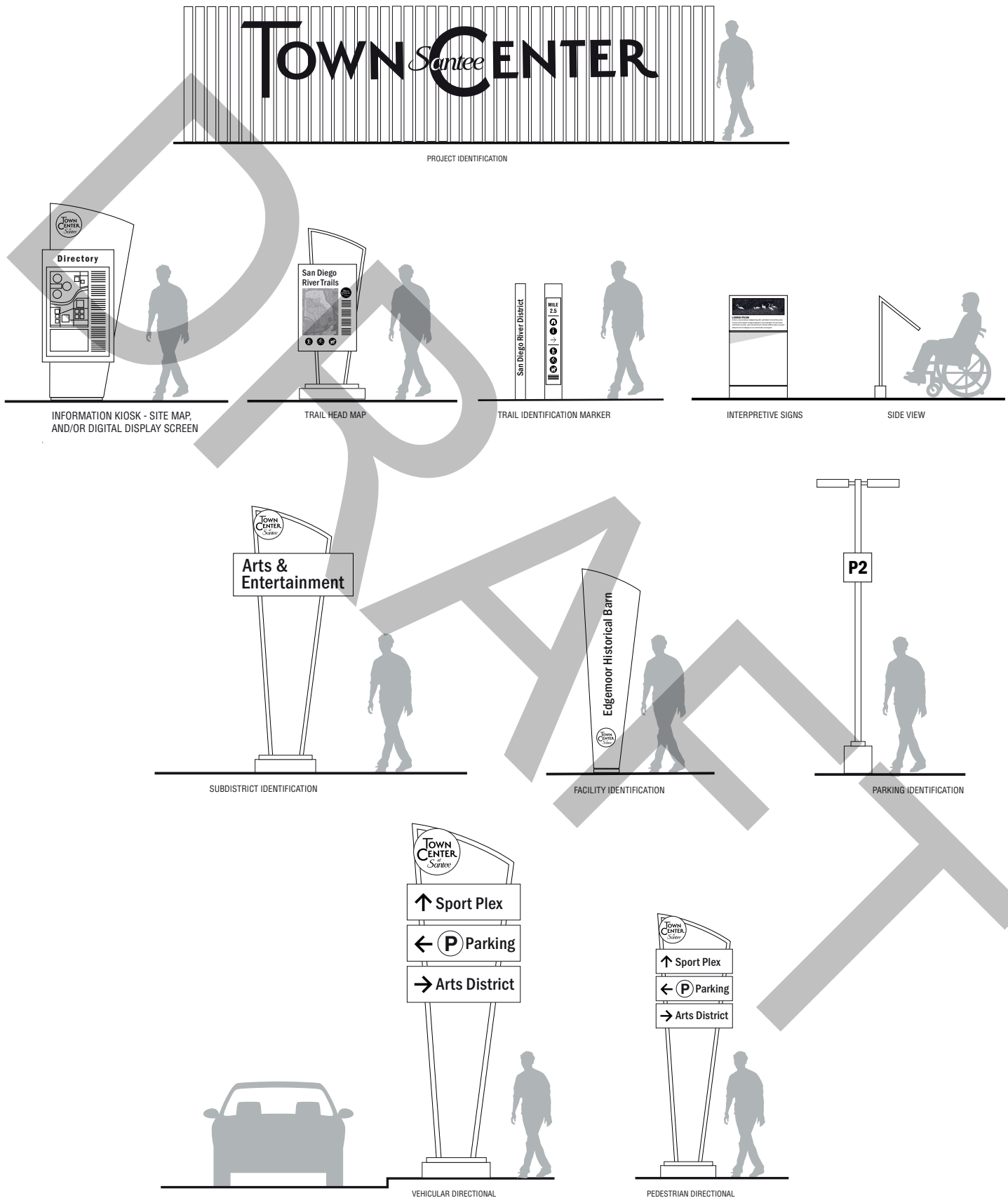


Figure 2-42: Standard Signage Treatment - San Diego River

Sign Materials

Sign Posts:

Rusted Steel Finish

Sign Base:

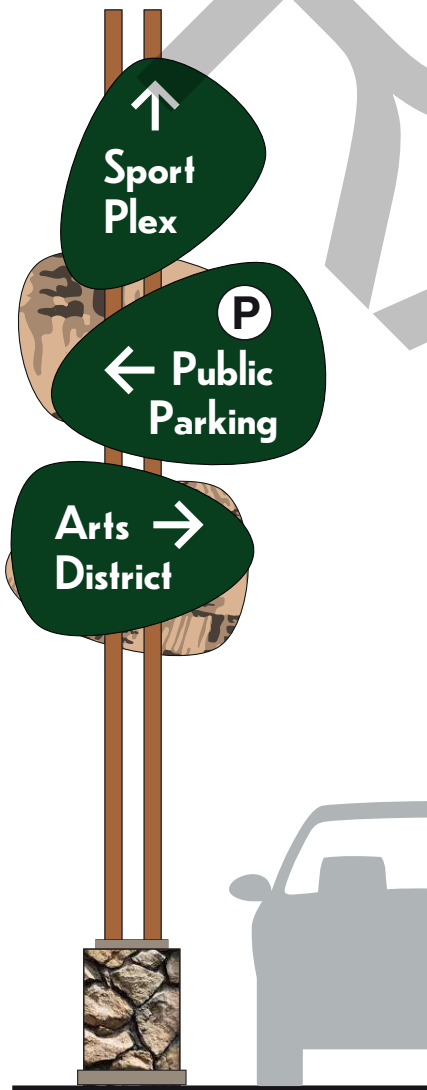
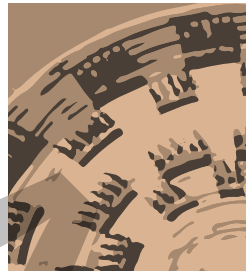
Rough Stone Boulder Base

Treatment Of Sign Panels Faces:

Dark green backgrounds with white type (typical for all signs)

Treatment Of Sign Panels Back:

Image of kumeyaay weaving patterns in light/dark tan (tone on tone)



Mobility and Beautification

3.1 Introduction

3.2 Major Roadways

3.3 Proposed Transportation Network

3.4 Transportation and Parking Goals and Policies

3.5 Streetscape Beautification





3.1 Introduction

This section provides recommendations and guidelines for the main thoroughfares that provide connectivity within the Town Center Specific Plan area, including Mission Gorge Road, Cuyamaca Street, Town Center Parkway, Riverview Parkway, Park Center Drive, Cottonwood Avenue, and Park Avenue. This section also addresses bicycle facilities, pedestrian facilities, transit services, and on-street parking improvements.

The Specific Plan envisions conflict between vehicular traffic and bicycle circulation being minimized and provides standards for the establishment of a clearly defined pedestrian and bicycle circulation system that provides connectivity to the natural features within the area and the San Diego River.

This section also addresses streetscape beautification within the Specific Plan Area. Streetscape beautification encompasses the elements of a street that are part of the public realm and enhance the community's character, including roadways and road intersection elements, such as median and crosswalks, sidewalks, street furniture, street trees and corner treatments.

The Town Center Specific Plan provides recommendations and guidelines for enhancing the area's streetscape and sense of place through the incorporation of attractive street furnishing, and treatments, landscape treatments as part of medians, parkways, and landscaped frontages as part of new development and improvements implementation.

The Specific Plan envisions the creation of a pedestrian-oriented environment in the area. It does this by incorporating human-scale frontages and enhancing facilities that support pedestrian and bicycle movement along the major roadway within the Specific Plan area.

3.2 Major Roadways

This section provides the roadway facility guidelines and standards, across all modes of travel, for all the Mobility Element roadways that traverse the Town Center Specific Plan area. Existing and proposed cross-sections are provided for each roadway and the existing facility standards as well as the proposed changes that will be implemented along the roadway with the build out of the specific plan are outlined in a table below. It should be noted that the identified cross-sections and standards represent the most constrained section of the identified roadway segment, thus these should be considered the minimum standards.

3.2.1 Town Center Parkway - Mission Gorge Road to Cuyamaca Street

No changes are proposed along this segment of Town Center Parkway.

Figure 3-1: Town Center Parkway - Mission Gorge Road to Cuyamaca Street



Table 3-2: Town Center Parkway - Mission Gorge Road to Cuyamaca Street

Mode	Existing	Proposed Changes
Pedestrian	Multi-use pathways on both sides of the roadway	No proposed changes
Bike	Class II bike lanes in both directions	No proposed changes
Transit	Route: MTS Bus Route 834 Bus Stops: Town Center Pkwy & 101 Town Center & 140 Town Center & 3205 Town Center Pkwy & Cuyamaca St	No proposed changes
Auto	Travel Lanes: 4 Center: Raised Median Speed Limit: 35 mph	No proposed changes
Parking	Private and public clubs (YMCA, YWCA)	No proposed changes
Right-of-Way	Curb to Curb: 90' Total: 150- 156'	No proposed changes

Other Proposed Improvements Along this Segment

Implement a pedestrian bridge crossing the southern leg (Cuyamaca Street) at the Cuyamaca Street / Town Center Parkway intersection. The pedestrian bridge is intended to create a safer connection between the Town Center Commercial Neighborhood and the Arts and Entertainment Neighborhood.

3.2.2 Town Center Parkway - Cuyamaca Street to Parc One

Figure 3-2: Town Center Parkway - Cuyamaca Street to Parc One

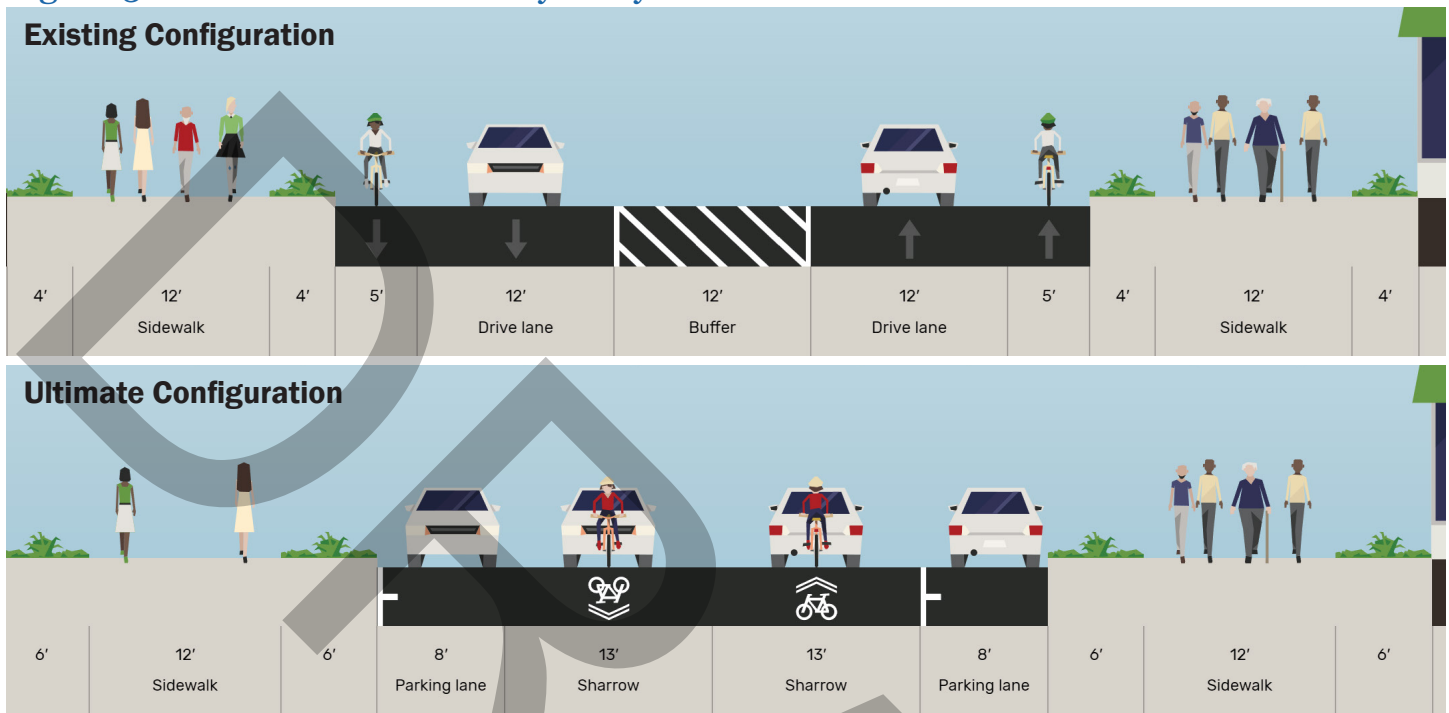


Table 3-3: Town Center Parkway - Cuyamaca Street to Parc One

Mode	Existing	Proposed Changes
Pedestrian	Multi-use pathways on both sides of the roadway	No proposed changes
Bike	Class II bike lanes in both directions	Change to a Class III Bike Route with Sharrows in both directions
Transit	Route: MTS Bus Route 834 Bus Stops: None	No proposed changes
Auto	Travel Lanes: 2 Center: Painted Median Speed Limit: 25 mph	Removed painted median
Parking	None	Implement parallel parking on both sides of the roadway
Right-of-Way	Curb to Curb: 46' Total: 150- 156'	Curb to Curb: 42' Total: 150- 156'

3.2.3 Town Center Parkway - Cuyamaca Street to Parc One

Figure 3-3: Town Center Parkway - Cuyamaca Street to Parc One

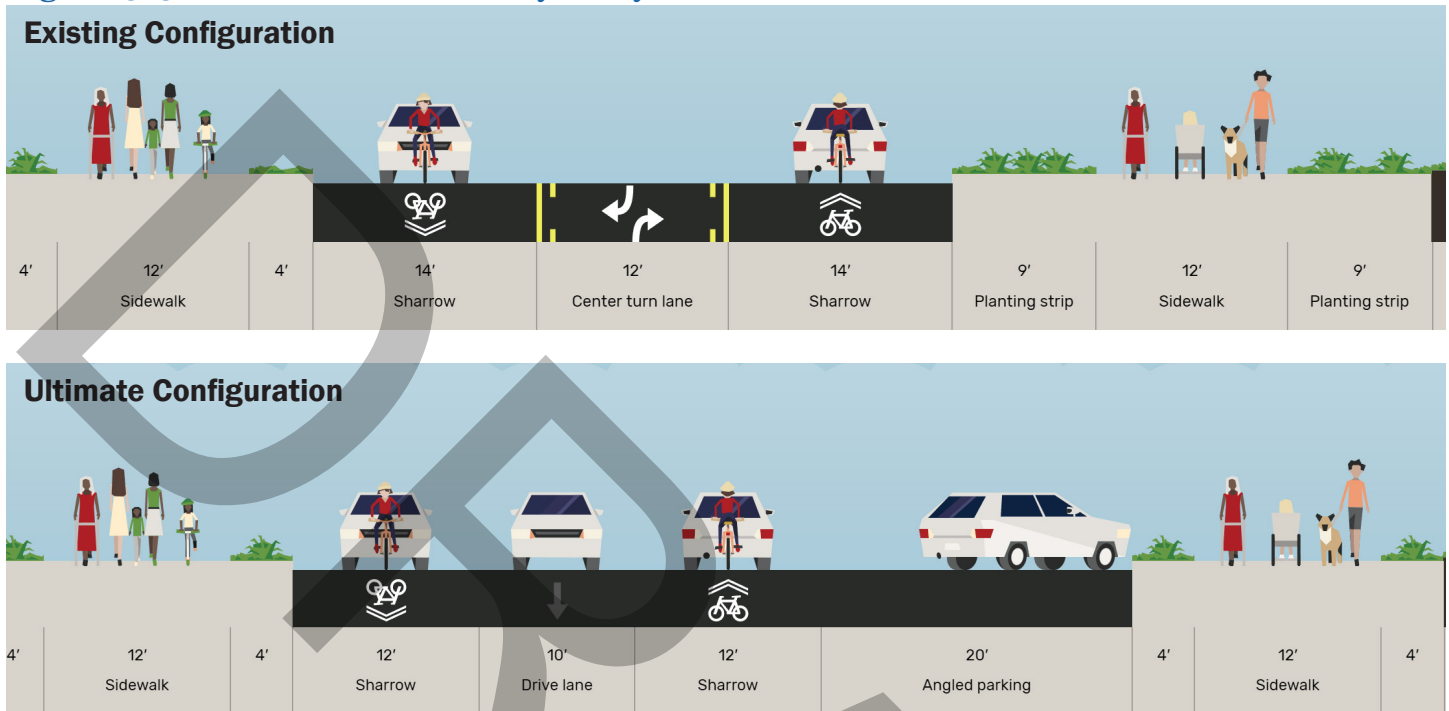


Table 3-4: Town Center Parkway - Cuyamaca Street to Parc One

Mode	Existing	Proposed Changes
Pedestrian	Multi-use pathways on both sides of the roadway	No proposed changes
Bike	Class III Bike Routes (Sharrows) in both directions	No proposed changes
Transit	Route: MTS Bus Route 832, 833 & 834 Bus Stops: Santee Town Center	Move Santee Town Center bus Stops to the curb line.
Auto	Travel Lanes: 2 Center: Painted Median / Turn Lane Speed Limit: 25 mph	Narrow travel lanes from 14' to 12' Narrow median / turn-lane from 12' to 10'
Parking	None	Implement angled parking on the northeast side of the roadway
Right-of-Way	Curb to Curb: 40' Total: 90'	Curb to Curb: 54' Total: 90'

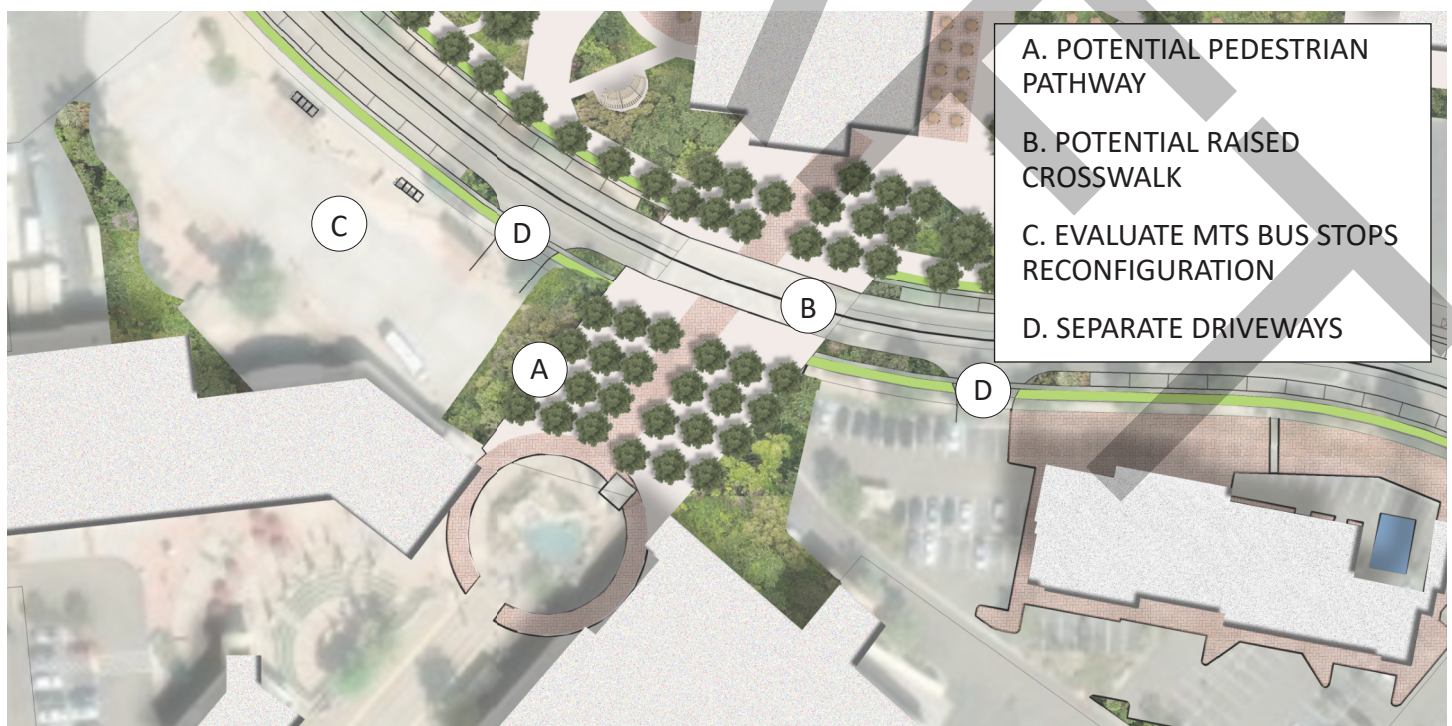
Other Proposed Improvements

Creating a safe, inviting, and convenient connection between the existing Town Center uses and Trolley station to the Arts and Entertainment Neighborhood will help the user experience and will be a valuable feature in ensuring the success of the Neighborhood. Therefore, the following improvements are recommended:

- ▶ Create pedestrian pathway from the Trolley station to the Arts and Entertainment Neighborhood and Bus Station.
 - ▷ This would include decoupling the driveways for the MTS Bus Station and Parking lot to the southeast on Town Center Parkway to remove modal conflicts and allow the pathway clear access to the area.
 - ▷ Separate driveways for each site would be provided on either side of the pathway, as shown in the graphic below.
 - ▷ Potentially install a raised crosswalk where the pathway crosses Town Center Drive.
 - ▷ Potentially install a pedestrian activated signal at the where the pathway crosses Town Center Drive.
- ▶ Coordinating with MTS to explore reducing the bus parking/transfer area and/or moving the bus stops to on-street parking to allow for better viability and access.
- ▶ Coordinate with MTS to explore the opportunity of building a parking structure over the existing Bus Station that would serve both the Arts and Entertainment Neighborhood and MTS riders.

Some of these improvements are displayed, conceptually, in the figure below.

Figure 3-4: Additional Improvements at Town Center Drive



3.2.4 Cuyamaca Street- Mission Gorge Road to Town Center Parkway

No changes are proposed along this segment of Cuyamaca Street.

Figure 3-5: Cuyamaca Street - Mission Gorge Road to Town Center Parkway

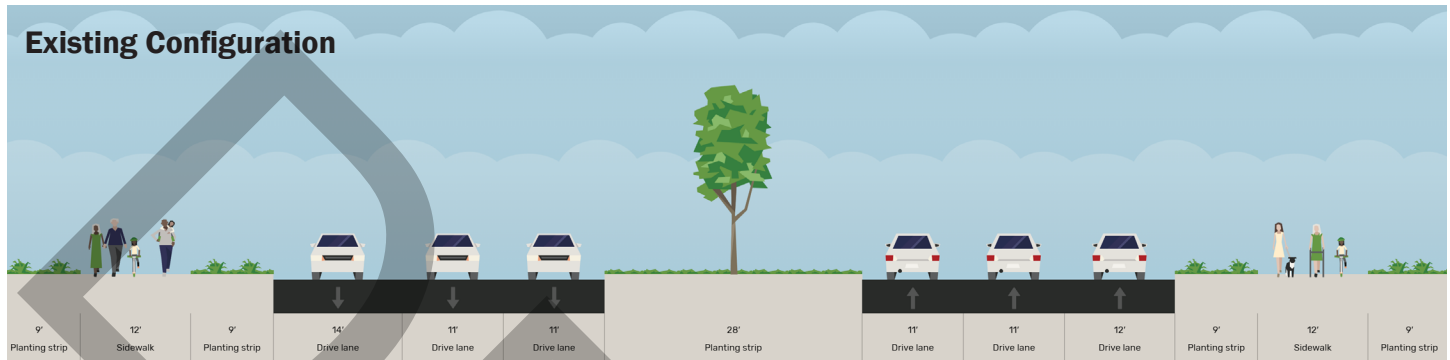


Table 3-5: Cuyamaca Street - Mission Gorge Road to Town Center Parkway

Mode	Existing	Proposed Changes
Pedestrian	Multi-use pathways on both sides of the roadway	Implement missing segments of the multi-use pathway on the westside of the roadway
Bike	None	No proposed changes
Transit	None	No proposed changes
Auto	Travel Lanes: 6 Center: Raised Median Speed Limit: 35 mph	No proposed changes
Parking	None	No proposed changes
Right-of-Way	Curb to Curb: 98' Total: 158'	No proposed changes

3.2.5 Cuyamaca Street - Town Center Parkway to River Prark Drive

Figure 3-6: Cuyamaca Street - Town Center Parkway to River Park Drive

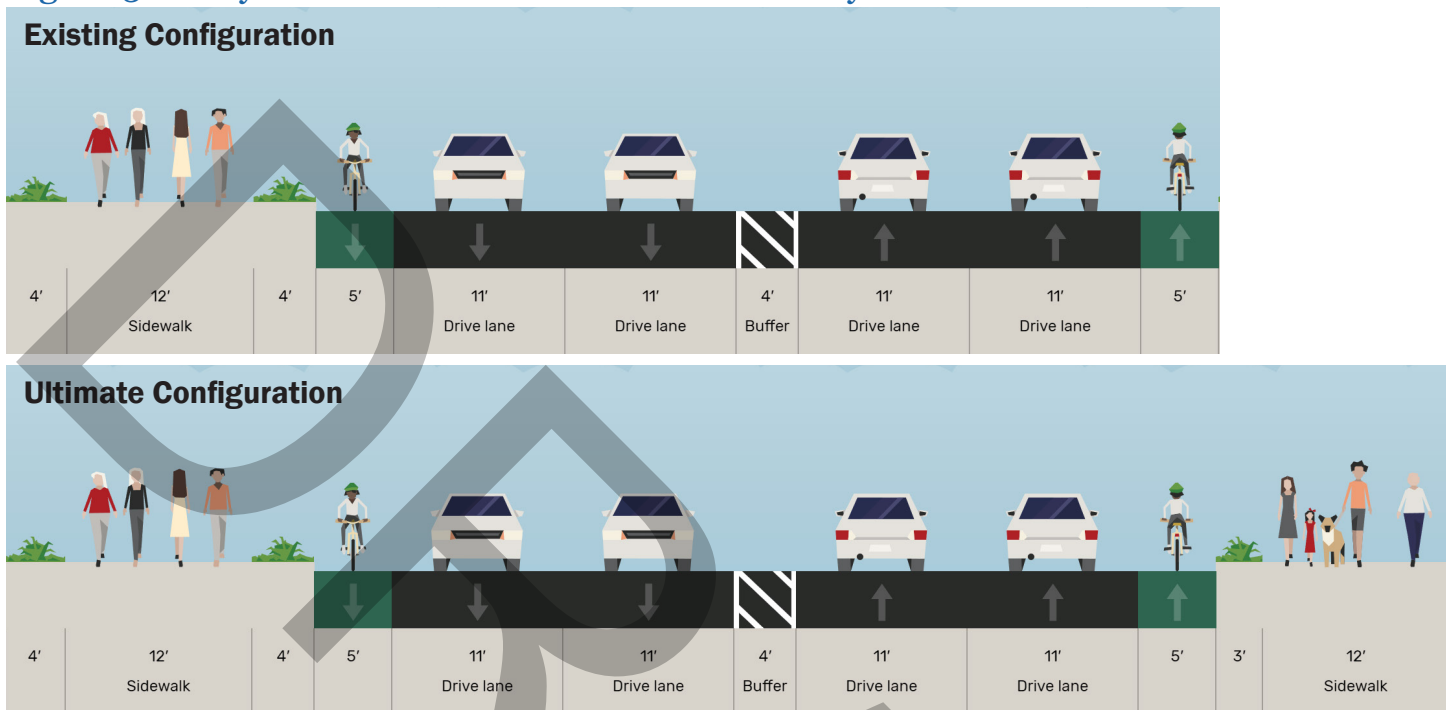


Table 3-6: Cuyamaca Street - Town Center Parkway to River Park Drive

Mode	Existing	Proposed Changes
Pedestrian	Multi-use pathways on the westside of the roadway	Implement a multi-use pathway on the eastside of the roadway
Bike	Class II bike lanes in both directions	
Transit	Route: MTS Bus Route 832 Bus Stops: Cuyamaca St & Riverview Dr	No proposed changes
Auto	Travel Lanes: 4 Center: Raised Median / Painted Median Speed Limit: 35 mph	No proposed changes
Parking	None	No proposed changes
Right-of-Way	Curb to Curb: 58' Total: 78'	Curb to Curb: 58' Total: 93'

Other Proposed Improvements

The Active Santee Plan, January 2021 identifies the need for a crosswalk with pedestrian/bicycle-activated Hybrid Beacon, across Cuyamaca Street at the San Diego River Trail Crossing. This improvement should be implemented in conjunction with the construction of the multi-use pathway on the east side of Cuyamaca Street.



3.2.6 Riverview Parkway - Mission Gorge Drive to Meadow Way

Figure 3-7: Riverview Parkway - Mission Gorge Drive to Meadow Way

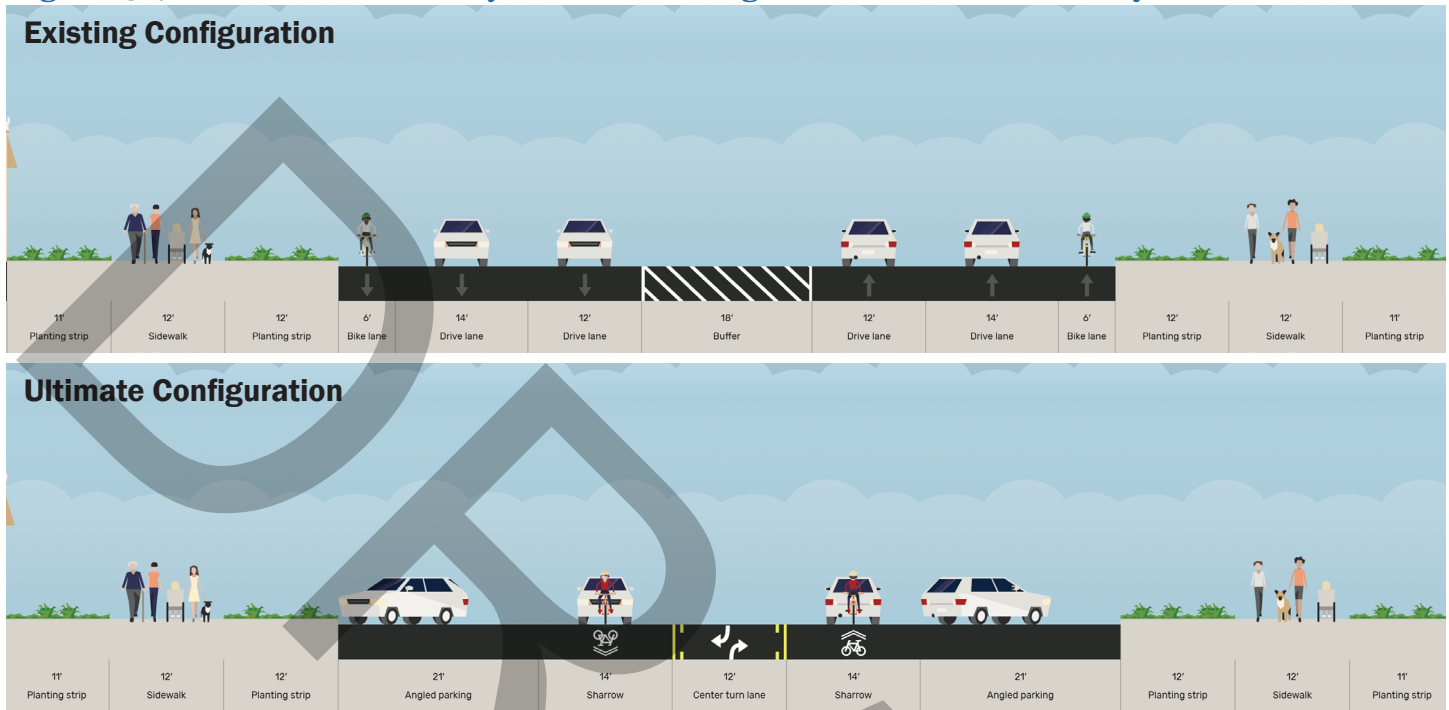


Table 3-7: Riverview Parkway - Mission Gorge Drive to Meadow Way

Mode	Existing	Proposed Changes
Pedestrian	Multi-use pathways on both sides of the roadway	No proposed changes
Bike	Class II bike lanes in both directions	Change to a Class III Bike Route (Sharrows) in both directions
Transit	Route: MTS Bus Route 832 & 833 Bus Stops: None	No proposed changes
Auto	Travel Lanes: 4 Center: Raised Median / Painted Median Speed Limit: 30 mph	Change median from 16' raised median to a 12' continuous left-turn lane Reduce number of travel lanes from 4 to 2
Parking	None	Implement parallel parking on both sides of the roadway
Right-of-Way	Curb to Curb: 82' Total: 150'	No proposed changes

3.2.7 Riverview Parkway - Meadow Way to Cottonwood Avenue

This is a future segment of Riverview Park Drive that will complete the connection between Town Center Parkway and Magnolia Avenue. The right-of-way for this segment of the roadway has been established and reserved.

Figure 3-8: Riverview Parkway - Meadow Way to Cottonwood Avenue

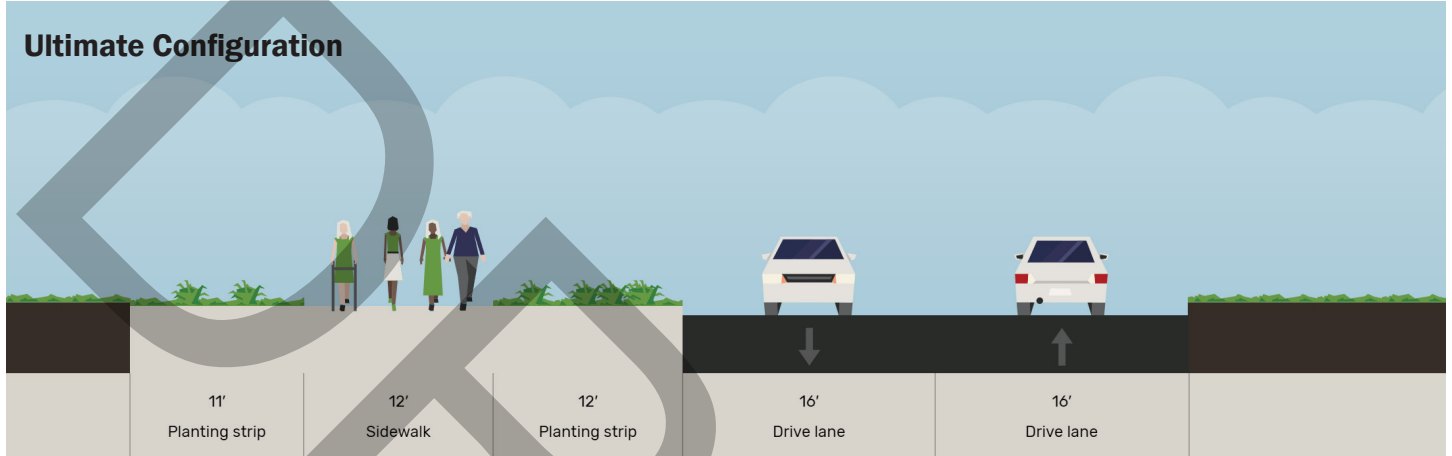


Table 3-8: Riverview Parkway - Meadow Way to Cottonwood Avenue

Mode	Existing	Proposed Changes
Pedestrian	Does not currently exist	35' Multi-Use Pathways on both sides of the roadway
Bike		Class III Route (Sharrows) in both directions
Transit		None
Auto		Travel lanes: 2 Center: Continuous Left-Turn Lane
Parking		Angled parking on both sides of the roadway
Right-of-Way		Curb to Curb: 82' Total: 150'

3.2.8 Riverview Parkway - Cottonwood to Magnolia Avenue

The additional right-of-way required to construct this roadway to its ultimate classification has already been allocated.

Figure 3-9: Riverview Parkway - Cottonwood to Magnolia Avenue

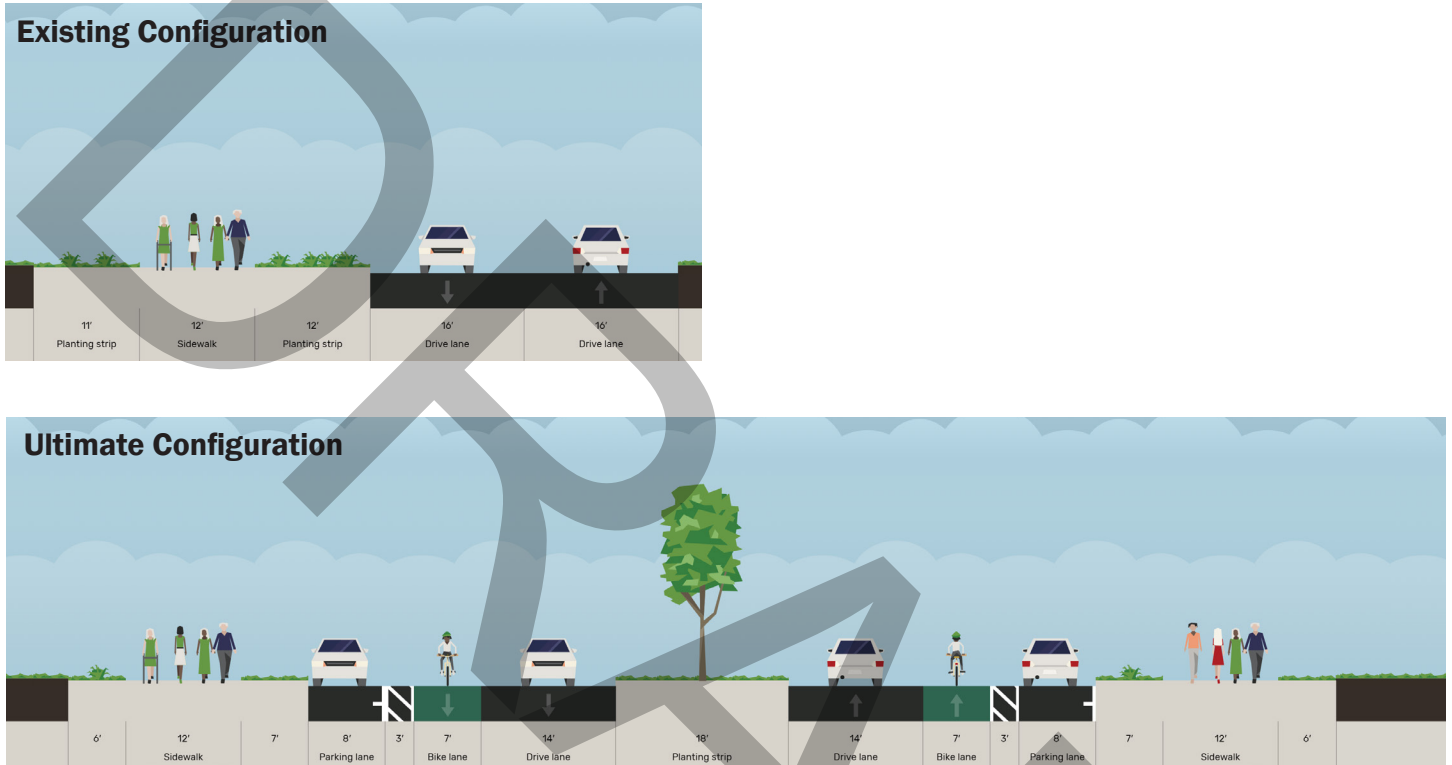


Table 3-9: Riverview Parkway - Cottonwood to Magnolia Avenue

Mode	Existing	Proposed Changes
Pedestrian	Multi-use pathways on southside of the roadway	Implement a multi-use pathway on the northside of the roadway (River Trail)
Bike	None	Implement a Class II bike lanes in both directions
Transit	None	No proposed changes
Auto	Travel Lanes: 2 Center: None Speed Limit: 35 mph	Implement a 18' median
Parking	None	Implement parallel parking on both sides
Right-of-Way	Curb to Curb: 82' Total: 150'	Curb to Curb: 82' Total: 150'

3.2.9 Riverwalk Drive - Cuyamaca Drive to Park Center Drive

No changes are proposed to this segment of Riverview Drive.

Figure 3-10: Riverwalk Drive - Cuyamaca Drive to Park Center Drive

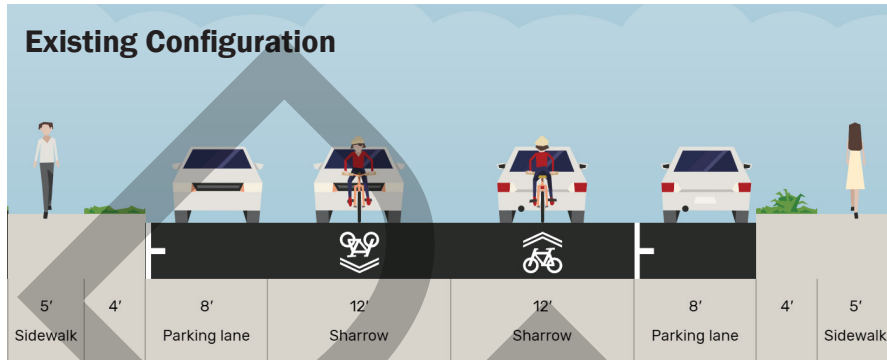


Table 3-10: Riverwalk Drive - Cuyamaca Drive to Park Center Drive

Mode	Existing	Proposed Changes
Pedestrian	5' Sidewalks on both sides with 4' planted parkways	No proposed changes
Bike	Class III Route (Sharrows) in both directions	No proposed changes
Transit	None	No proposed changes
Auto	Travel Lanes: 2 Center: None Speed Limit: 25 mph	No proposed changes
Parking	Parallel Parking on both sides	No proposed changes
Right-of-Way	Curb to Curb: 40' Total: 64'	No proposed changes

3.2.10 Cottonwood Avenue - Park Center Drive to Riverview Parkway

This is a future segment of Cottonwood Avenue that will provide a new north/south connection across the San Diego River.

Figure 3-11: Cottonwood Avenue - Park Center Drive to Riverview Parkway

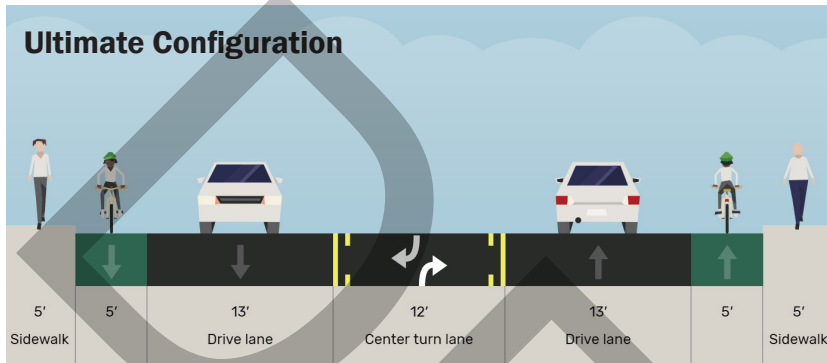


Table 3-11: Cottonwood Avenue - Park Center Drive to Riverview Parkway

Mode	Existing	Proposed Changes
Pedestrian	Does not currently exist	5' Sidewalks on both sides
Bike		Class II Bike Lanes in both directions
Transit		None
Auto		Travel lanes: 2 Center: Continuous Left-Turn Lane
Parking		None
Right-of-Way		Curb to Curb: 48' Total: 58'

3.2.11 Main Street - Riverview Parkway to Cottonwood Avenue

This is a new roadway that will create an east/west connection between the Arts and Entertainment Neighborhood and the Park Avenue Residential Neighborhood. This segment should be designed as a Main Street concept.

Figure 3-12: Main Street - Riverview Parkway to Cottonwood Avenue

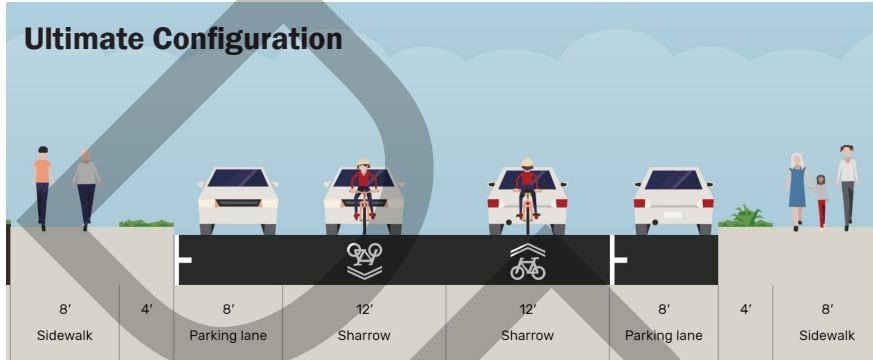


Table 3-12: Main Street - Riverview Parkway to Cottonwood Avenue

Mode	Existing	Proposed Changes
Pedestrian	Does not currently exist	8' Sidewalks on both sides with 4' planted parkways
Bike		Class III Bike Routes (Sharrows) in both directions
Transit		None
Auto		Travel lanes: 2 Center: Undivided
Parking		None
Right-of-Way		Curb to Curb: 40' Total: 64'

3.2.12 Typical Residential Roadway

This is the typical standard that internal, non-classified, residential roadways, within the specific plan area should be designed to.

Figure 3-13: Typical Residential Roadway

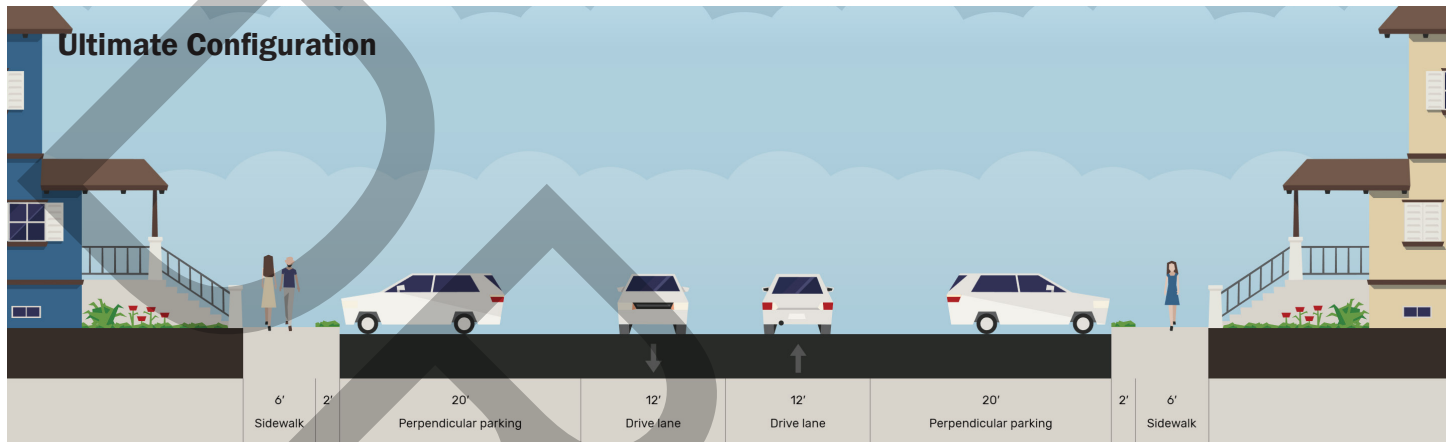


Table 3-13: Typical Residential Roadway

Mode	Facility
Pedestrian	6' Sidewalks on both sides
Bike	None
Transit	None
Auto	Travel lanes: 2 Center: None Speed Limit: 25 mph
Parking	Perpendicular parking on both sides of the roadway
Right-of-Way	Curb to Curb: 64' Total: 80'

3.2.13 Park Center Drive - From Mast Boulevard to Magnolia Avenue

This is a future segment of Park Center Drive that will create a north/south and east/west connection between Mast Boulevard and Magnolia Avenue.

Figure 3-14: Park Center Drive - Mast Boulevard to Magnolia Avenue

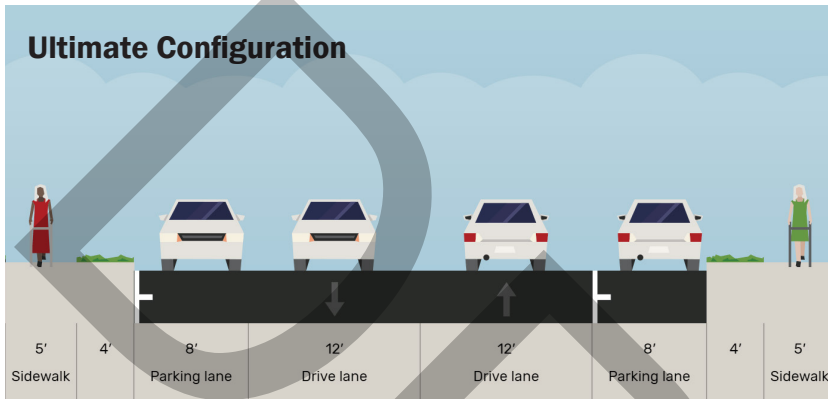


Table 3-14: Park Center Drive - Mast Boulevard to Magnolia Avenue

Mode	Existing	Proposed Changes
Pedestrian	Does not currently exist	5' Sidewalks on both sides with 4' planted parkways
Bike		None
Transit		None
Auto		Travel Lanes: 2 Center: Undivided
Parking		Parallel Parking on both sides
Right-of-Way		Curb to Curb: 40' Total: 58'

3.3 Proposed Transportation Network

The following section provides an overview of the proposed transportation network that will be implemented in conjunction with the build out of the proposed land uses within the specific plan area. Proposed transportation facility maps are provided for each mode of travel, and the specific improvements / changes required to build out the network are also described. These improvements are consistent with the roadway standards that are described in Section 3.2; however, this section also shows how the separate facilities will connect and work together to provide safe and comfortable connections for all modes of travel.

Multi-Use Pathways

Multi-use pathways will be provided along all major roadway facilities within the specific plan area. Multi-use pathways provide safe, convenient, and comfortable pedestrian access between the different land uses and neighborhoods, and form the backbone of first mile and last mile connections between the transit center and proposed residential uses. Less experienced or slower cyclists can also utilize the multi-use pathways as an alternative to using the in-road facilities such as Class II Bike Lanes and Class III Bike Routes. Figure 3-13 displays the multi-use pathways that currently exist as well as those that need to be implemented as the specific plan area continues to develop.

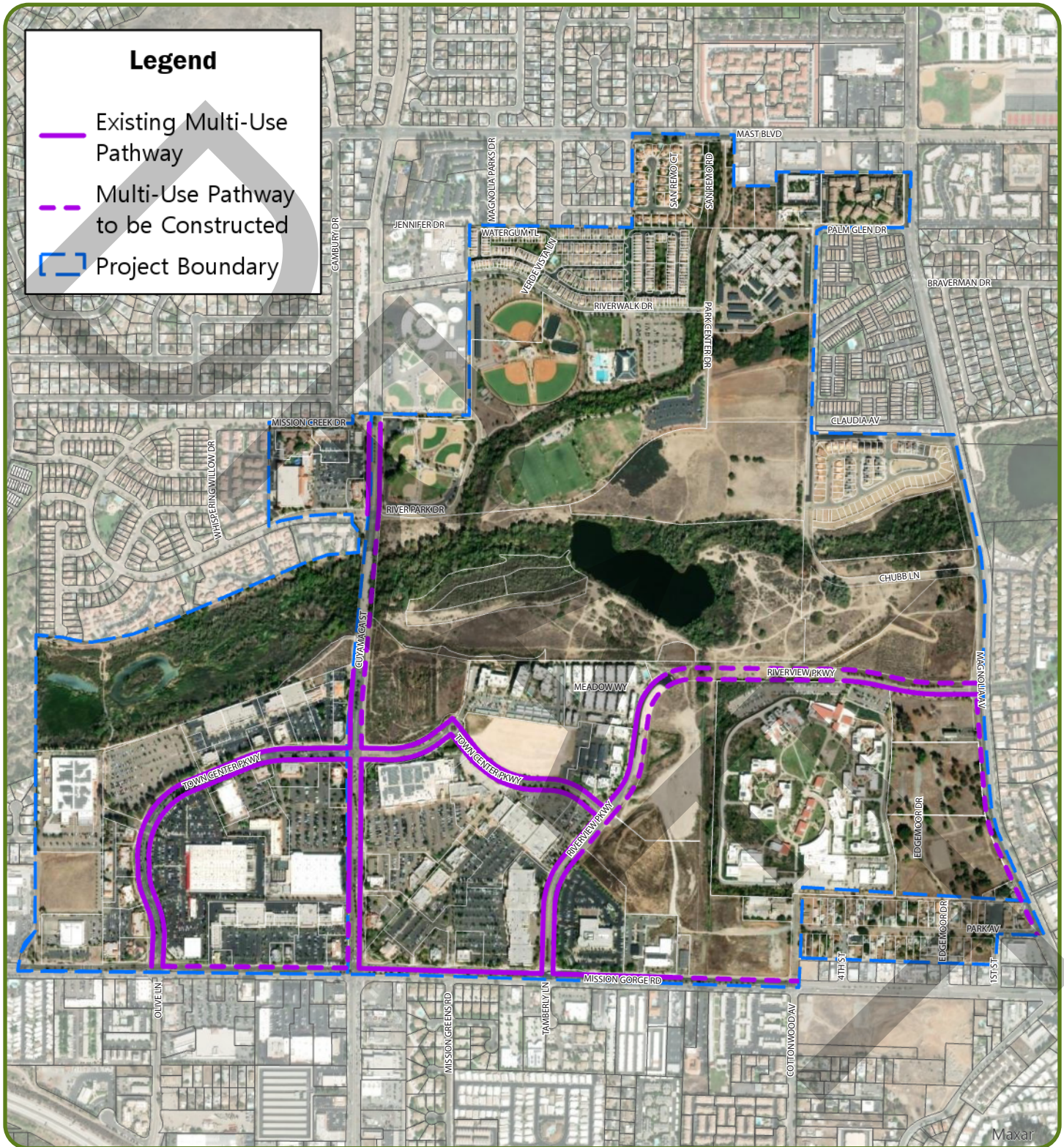
Pedestrian Connections

Sidewalk facilities are generally provided along all roadways in the specific plan area, and provide connectivity to the system of multi-use pathways. Table 3.13 identifies the locations where sidewalk facilities are currently not present along roadways within the specific plan area. Sidewalk facilities will be implemented along these roadways, where feasible, in conjunction with the adjacent land uses being developed or redeveloped.

Table 3-15: Missing Sidewalk Facilities

Roadway	Segment
Cuyamaca St (east side)	Town Center Pkwy to River Trail bridge (overpass)
Riverview Pkwy (east side)	Town Center Pkwy to North end
Riverview Pkwy (SE side)	Town Center Pkwy to ~400ft south of Town Center Pkwy
Magnolia Ave (west side)	Cottonwood Ave to Park Ave
Riverview Pkwy (north side)	Magnolia Ave to West end (culdesac)
Park Center Dr (east side)	Riverwalk Dr to South end (culdesac)
Cottonwood Ave (west side)	Annie Ln to Claudia Ave
Park Ave (both sides)	Cottonwood Ave to 1st St
3rd St (both sides)	Cottonwood Ave to 1st St
Cottonwood Ave (both sides)	Mission Gorge Rd to North end
Edgemoor Dr (both sides)	Mission Gorge Rd to North end
1st St (west side)	Mission Gorge Rd to Park Ave

Figure 3-15: Multi-Use Pathways



Bicycle Network

As outlined in Section 3.2, there are several bicycle facility changes or improvements that will be implemented with the buildout of the specific plan. Figure 3-14 displays the proposed bicycle network within the specific plan area, while Table 3.14 identifies the specific changes to the existing bicycle facilities.

Table 3-16: Changes to the Bicycle Network

<u>Segment</u>	<u>Extent</u>	<u>Existing Facility</u>	<u>Proposed Facility</u>
River Trail Crossing	North side of Walmart to River Rock Ct	None	Class I Path
River Trail (south) Segment 10	Existing Class I north of Town Center Roundabout to Planned Town Center Pkwy Class I	None	Class I Path
River Trail (north) Segment 3	Cuyamaca St to Cottonwood Ave	None	Class I Path
Park Center Dr	Riverwalk Dr to Park Center Dr	None	Class III Bike Route (Sharrows)
Cottonwood Ave	Palm Glen Dr to Park Center Dr	None	Class III Bike Route (Sharrows)
Cottonwood Ave (extension)	Park Center Drive to Riverview Parkway	Roadway does not exist	Class II Bike Lanes
Riverview Parkway	Mission Gorge Road to Town Center Parkway	Class II Bike Lanes	Class III Bike Route (Sharrows)
Riverview Parkway	Town Center Parkway to Cottonwood Avenue (extension)	None	Class III Bike Route (Sharrows)
Riverview Parkway	Cottonwood Avenue (extension) to Magnolia Avenue	None	Class II Bike Lanes
Town Center Parkway	Cuyamaca Street to Parc One Driveway	Class II Bike Lanes	Class III Bike Route
Main Street	Riverview Parkway to Cottonwood Avenue	Roadway does not exist	Class III Bike Route (Sharrows)

Figure 3-16: Bicycle Network



Transit Network

Access to quality regional transit services is a defining feature of the specific plan area. However, all transit routes and services within the specific plan area are operated by the Metropolitan Transit Service (MTS), and are outside of the control of the City of Santee. As such, the transit services and facilities within the specific plan cannot be changed without the approval of MTS, thus, no changes to the existing transit network are proposed. Figure 3-15 displays the existing transit network that serves the specific plan area.

Roadway Network

The specific roadway guidelines, standards, and features for all classified roadways, within the specific plan area, are described in detail within Section 3.2. Figure 3-16 displays the proposed roadway classifications and identifies the general locations in which the proposed roadway extensions will be located

3.4 Transportation and Parking Goals and Policies

The following are the transportation and parking related goals and policies for the specific plan area.

Goal

Provide for the development of a safe, efficient, and cost effective variety of transportation systems to adequately support the circulation needs of the town center area with minimal negative impact on the community.

Policies

- ▶ Access points should be well defined, located on major streets, and utilize adequate traffic control features.
- ▶ Alternate vehicular access should be provided to Carlton Hills Boulevard and Mast Boulevard to provide relief to Cuyamaca Street, Magnolia Avenue and Mission Gorge Road.
- ▶ Parking areas, including parking structures, should be strategically located to serve all areas of Town Center and should not act as prominent visual features (see Figure 2-1: Illustrative Site Plan for potential locations).
- ▶ Adequate off-street parking should be provided throughout the Specific Plan area, wherever possible.
- ▶ A regional transit center should be provided to handle local and regional bus and trolley service.
- ▶ Parking facilities should be provided in close proximity to the Transit Center to encourage regional use of the mass transit services provided.
- ▶ Parking structures should be provided to assure adequate parking while allowing open landscape areas throughout the Town Center site.
- ▶ A freeway shall not be located through the Town Center site.
- ▶ Extensive landscape, mounding and grade separations for the development of interior and periphery streets are techniques that should be used to de-emphasize the presence of the automobile.
- ▶ Whenever new development comes in it must build out sidewalks along all roads (public or private). Must connect to the existing sidewalk network.
- ▶ A development impact fee program or assessment district should be developed to fund and ensure the implementation of public transportation infrastructure which benefits the specific plan areas as a whole (San Diego River Trail, multi-use pathways, roadway extensions, parking structures, etc.)

Figure 3-17: Transit Network



Figure 3-18: Roadway Network

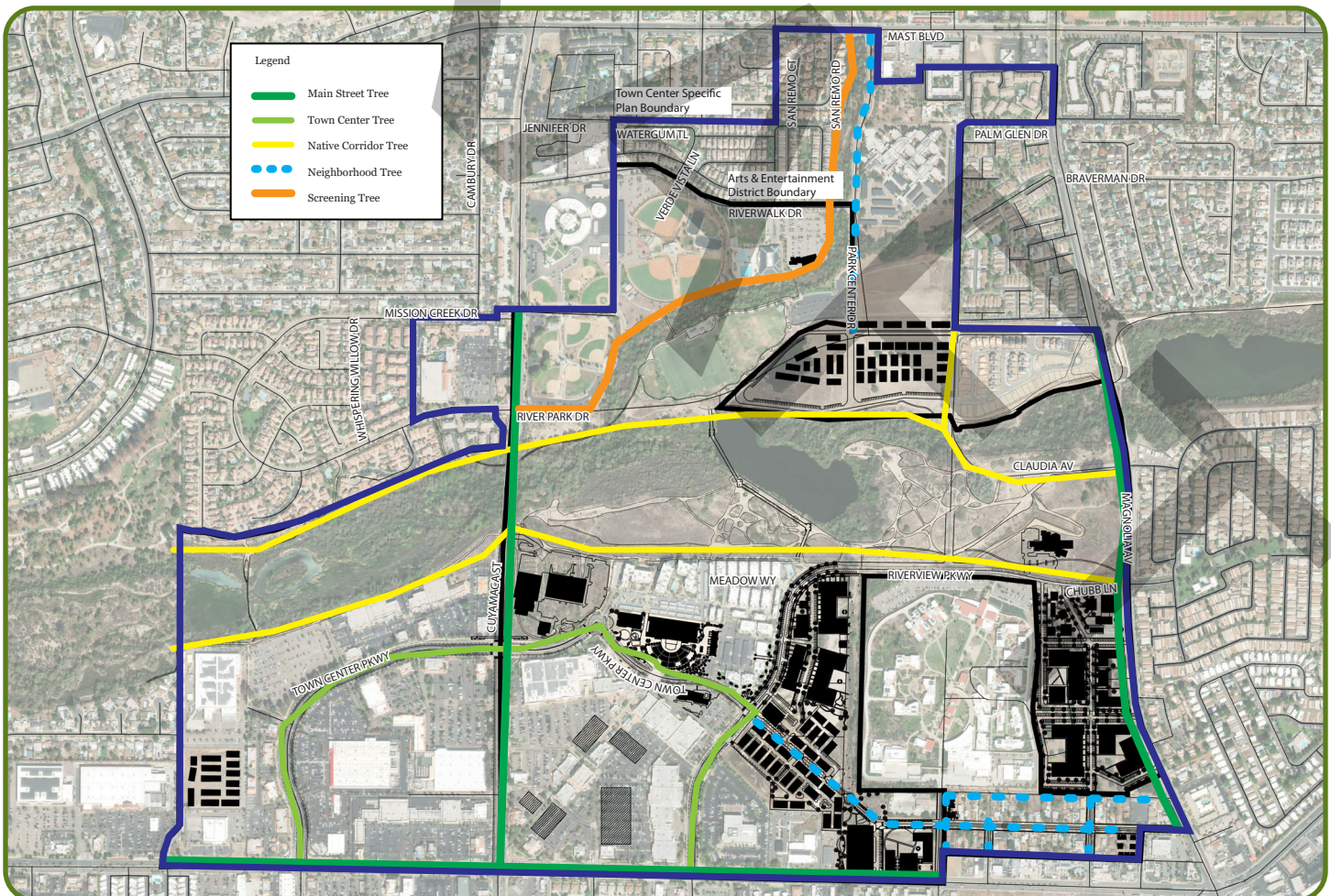


3.5 Streetscape Beautification

The Streetscape Beautification section provides an overarching set of principles for the foundation of public and private improvements in the Arts and Entertainment Neighborhood. It demonstrates the interconnected network and hierarchy of street corridors, public open spaces, building forms, highlighting the location and character of public and private improvements in the Town Center Specific Plan area.

Santee’s connection to the surrounding landscape is an undeniable asset. From its mountain trails to the San Diego River habitat which serves as a unique amenity to the Town Center. The intent of the following standards, goals and policies is to bring the character of the river deeper into the site. To allow the landscape to become a unifying element between the various neighborhoods and to integrate itself as a prominent thread in the fabric of the space. By bringing the river’s character into these street improvements it ensures that users can engage with and are reminded of their unique location within Santee and the amenities that it has to offer.

Figure 3-19: Street Trees Corridors



A. Street Trees

The character and neighborhood distinction in the of the Town Center Specific Plan shall be further enhanced through the use of specific street trees along pre-determined corridors, which serve to stitch together the various areas.

- ▶ Main Street Tree – Evergreen with large canopy
- ▶ Town Center Tree – Flowering, tall, stately
- ▶ Multimodal Street Tree – Tall, drought-tolerant
- ▶ Native Corridor Tree – Riparian, local
- ▶ Neighborhood Tree – Evergreen
- ▶ Screening Tree – Tall, stately, large canopy

Figure 3-20: Street Tree Planting

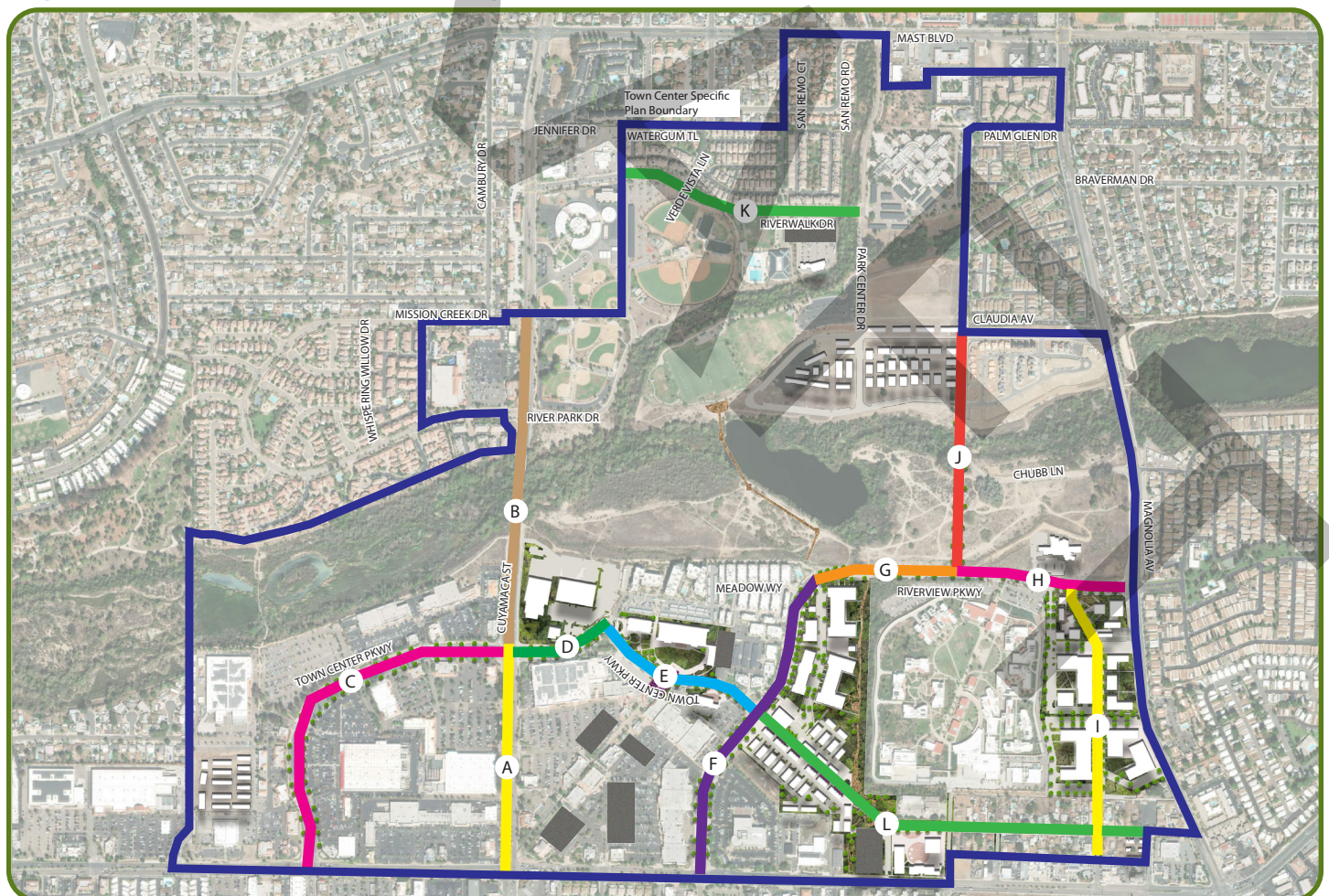


Table 3-17: Street Tree Planting List

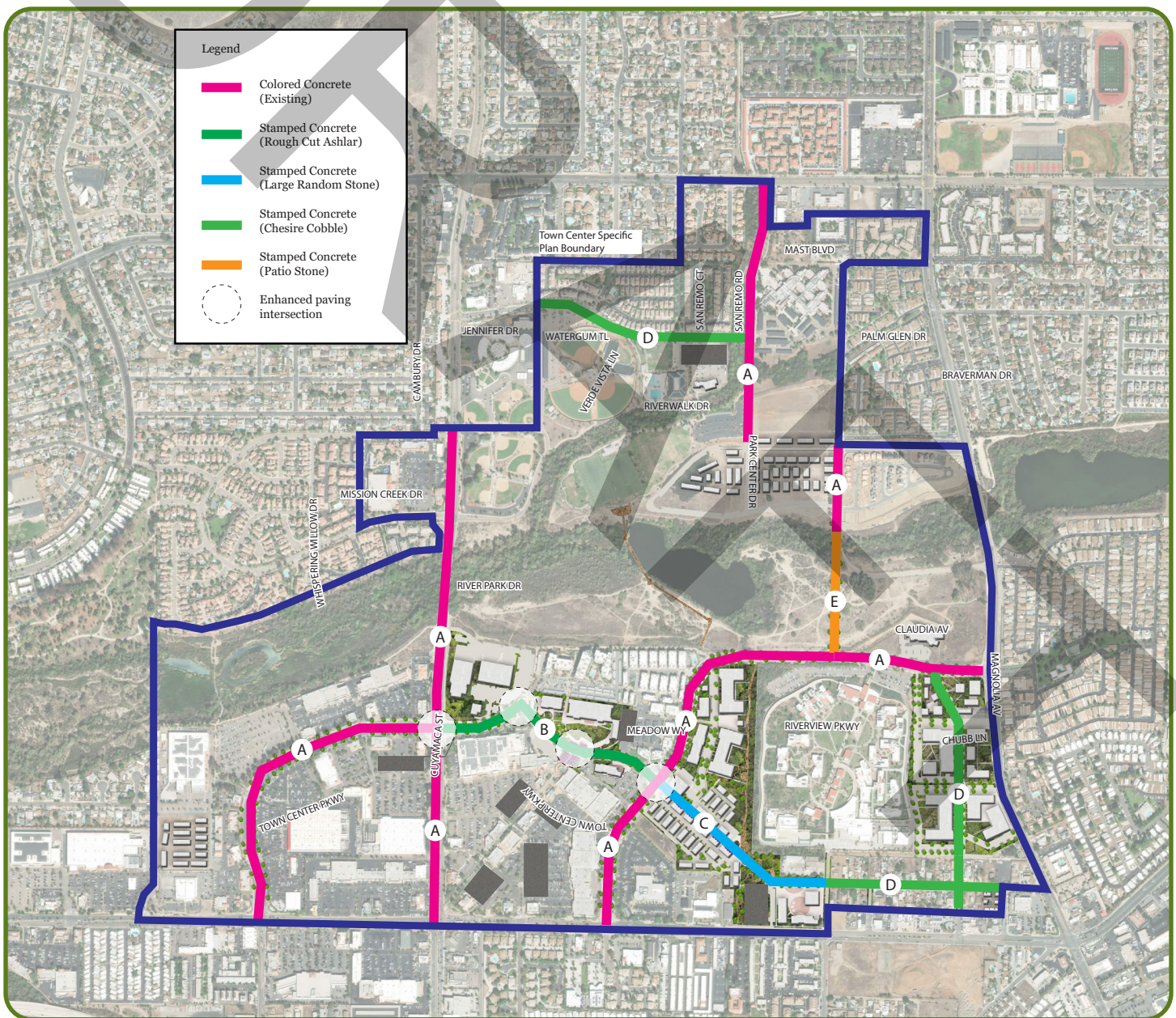
Key	Street	Segment	Primary Tree	Secondary Tree
A	Cuyamaca Street	Town Center Parkway to Mission Gorge Road		
		Parkway (up to 9')	Ulmus parvifolia - Chinese Evergreen Elm	Quercus suber - Cork Oak
		Median (up to 28')	Jacaranda mimosifolia - Jacaranda	Koelreuteria bipinnata - Chinese Flame Tree
B	Cuyamaca Street	River Park Drive to Town Center Parkway		
		Parkway (up to 3')	Cercis occidentalis - Western Redbud	Callistemon citrinus - Lemon Scented Bottle Brush
		Parkway (up to 4')	Chitalpa tashkentensis - Chitalpa	Hymenosporum flavum - Sweetshade
C	Town Center Parkway	Mission Gorge Road to Cuyamaca Street		
		Median (up to 18')	Pinus canariensis - Canary Island Pine	Pinus pinea - Italian Stone Pine
		Parkway (up to 3')	Cercis occidentalis - Western Redbud	Chitalpa tashkentensis - Chitalpa
D	Town Center Parkway	Cuyamaca Street to Parc One		
		Parkway (up to 6')	Geijera parviflora - Australian Willow	Lagerstroemia indica - Crape Myrtle
E	Town Center Parkway	Parc One to Riverview Parkway		
		Parkway (up to 4')	Lophostemen confertus - Brisbane Box	Brachychiton populneus - Bottle Tree
		Parkway (up to 9')	Magnolia grandiflora - Southern Magnolia	Bauhinia blakeana - Hong Kong Orchid Tree
F	Riverview Parkway	Mission Gorge Road to Meadow Way		
		Parkway (up to 11')	Quercus suber - Cork Oak	Koelreuteria bipinnata - Chinese Flame Tree
		Parkway (up to 12')	Quercus ilex - Holly Oak	Cinnamomum camphora - Camphor Tree

Key	Street	Segment	Primary Tree	Secondary Tree
G	Riverview Parkway	Meadow Way to Cottonwood Avenue		
		Parkway (up to 2')	Chitalpa tashkentensis - Chitalpa	Cercis occidentalis - Western Redbud
H	Riverview Parkway	Cottonwood Avenue to Magnolia Avenue		
		Median (up to 18')	Metrosideros excelsus - New Zealand Xmas Tree	Pinus canariensis - Canary Island Pine
		Parkway (up to 6')	Ginkgo biloba - Maiden Hair Tree	Alnus glutinosa - Black Alder
		Parkway (up to 7')	Platanus acerifolia - London Plane Tree	Robinia pseudoacacia - Black Locust
I	Edgemoor Drive	Third Street to Riverview Parkway		
		Parkway (up to 2')	Lophostemen confertus - Brisbane Box	Lagerstroemia indica - Crape Myrtle
J	Cottonwood Avenue	Park Center Drive to Riverview Parkway		
			Magnolia grandiflora - Southern Magnolia	Cinnamomum camphora - Camphor Tree
K	Riverwalk Drive	Park Center Drive to Cuyamaca Street		
		Parkway (up to 4')	Quercus suber - Cork Oak	Quercus ilex - Holly Oak
L	Park Avenue	Riverview Parkway to Magnolia Avenue		
		Parkway (up to 4')	Quercus suber - Cork Oak	Quercus ilex - Holly Oak

B. Paving Treatments

The sidewalk treatment in the identified locations shall relate to the character, use and landscape of each neighborhood. The following paving examples highlight a finer level of detail that will add to the sense of place within the specific plan area.

Figure 3-21: Paving Plan



C. Sidewalk Width

The preferred sidewalk width shall be ten (10) to fifteen (15) feet. In either case, the width shall accommodate pedestrian walking space, street tree planting, and street furniture in compliance with the Americans with Disabilities Act (ADA) and Title 24. Given the existing historical development pattern in the Arts and Entertainment Neighborhood, additional right-of-way dedication to widen sidewalks is not recommended.

D. Street Corner Standard

Standard street corners shall have a maximum radius of twenty (20) foot. The curb radius may be reduced, upon approval by the City Planner, where warranted by existing conditions or conflicts.

Parking should be prohibited within ten (10) feet from the point of return of the curb radius to allow for appropriate sightlines.

E. Street corner pop-outs

Street corner pop-outs as identified shall emphasize pedestrian activity, mitigate traffic impacts, and enhance the streetscape. They should be used on streets and in areas where shown on the Master Plan and not on a project-by-project basis. Street corner pop-outs shall meet the twenty (20) foot curb radius standard and support drainage and street sweeping equipment.

F. Corner clear zone

A clear zone shall be reserved at all street corners to permit unobstructed pedestrian movement and increase visibility. The clear zone shall be the area created by extending a line from each respective property line at the corner to the curb.

Within this zone, all lights, traffic boxes, mail boxes, newspaper machines, transformers, litter containers, landscaping and planters, and pedestrian information signs are prohibited.

The clear zone shall be kept free of traffic signals where feasible.

G. Street lights

Street lights should be located approximately seventy-five (75) to ninety-five (95) feet apart; with a total of three lights located on each 200-foot block frontage and four lights located on each 300-foot block frontage.

Street lights should be triangulated on opposite sides of the street and installed two and a half (2½) feet from the back of curb, measured from the back of curb to center of the pole base.

H. Street tree clearances

Generally, street trees should be spaced a max of thirty (30) feet on center and a minimum of 15 feet (15) feet on center along a street frontage.

Double rows of trees are encouraged, with trees triangulated at the distances listed above. Tree spacing should be equal between street lights, where feasible.

Trees can be grouped and do not have to be equally spaced if alternative layouts are warranted due to conflicts with driveways, utilities, or other design elements.

- ▶ Fifteen (15) feet minimum from street lights
- ▶ Five (5) feet minimum from driveway apron flares
- ▶ Twenty (20) feet minimum from the front of any traffic signal or stop sign
- ▶ Ten (10) feet minimum from the back of any traffic signal or stop sign
- ▶ Five (5) feet minimum from underground utilities
- ▶ Ten (10) feet minimum from sewer lines

Street trees must be installed with an irrigation system designed by a registered Landscape Architect or irrigation consultant, root control barriers, and the tree grates shall be used, where appropriate. Use of structural soil allows for the elimination of the root control barrier in most cases, and is encouraged.

I. Litter receptacles

Litter receptacles in the right of way are required for new developments with more than one hundred (100) linear feet or more of street frontage. The frontage of each development shall have at least two (2) litter receptacles located on each corner. Litter receptacles shall be installed with the steel door facing away from the street.

J. Removal and addition of street trees

The permit process for removal and addition of street trees within the Town Center Specific Plan area shall follow City guidelines, per the Parks and Rec website.

K. Tree grates

Tree grates shall meet safety requirements of ADA and Title 24 of the State Administrative Code. The tree grate shall be installed flush with adjacent paving in a one-piece steel frame unit embedded in concrete and be anti-pilfer equipped (two-piece steel frame units will be allowed when installed around existing trees). The standard size tree grates shall be four (4) foot by six (6) foot .

Edges of tree grates should be aligned with score lines and/or expansion joints and adjacent to the concrete curb and gutter. Metal grates shall be factory primed and painted black.

L. Tree root control barriers

Tree root barriers or structural soil shall be installed where trees are placed within 5 feet of public improvements including walks, curbs, or street pavement or where new public improvements are placed adjacent to existing trees.

Root control barriers shall be installed at the edge of paving or building, not around the rootball and be of a minimum depth of 24".

Figure 3-22: Main Street - View 1

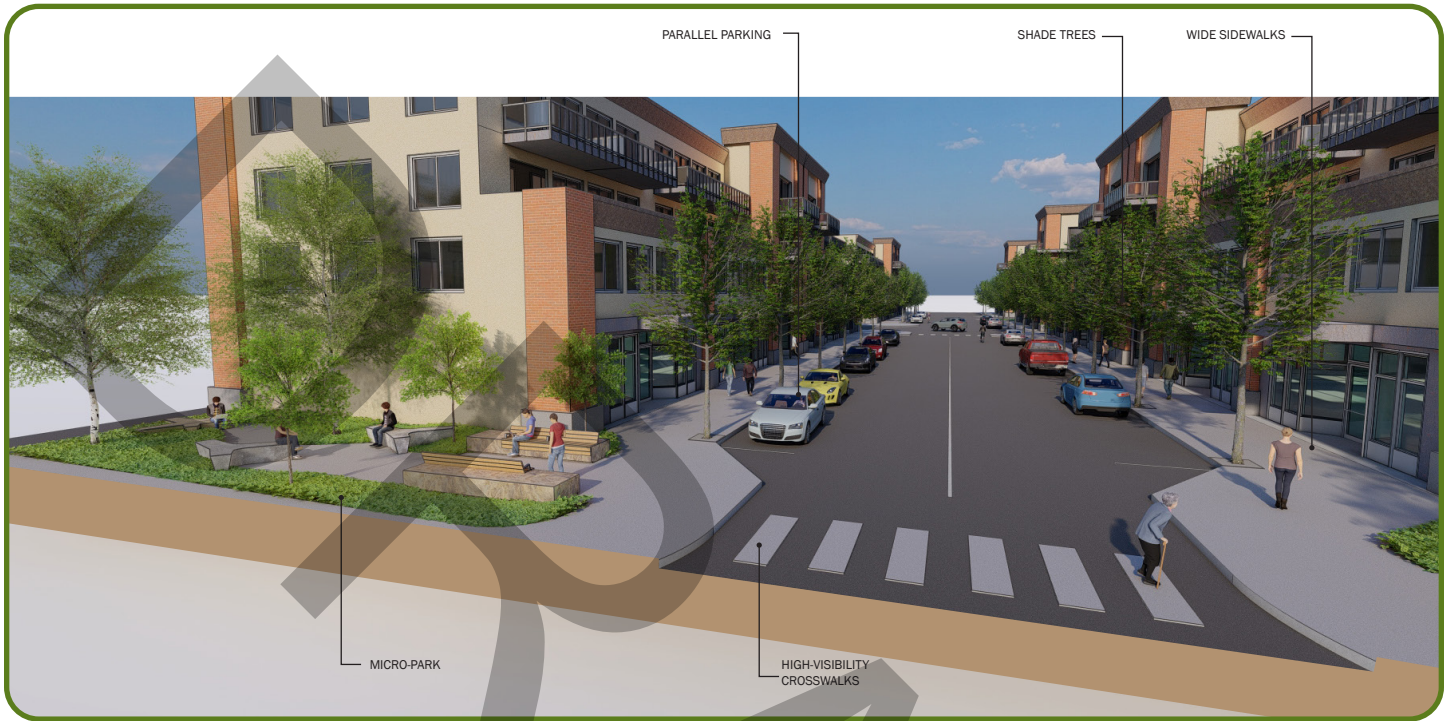


Figure 3-23: Main Street - View 2



Figure 3-24: Main Street - View 3



Figure 3-25: Edgemoor Drive View 1



Figure 3-26: Edgemoor Drive View 2



Figure 3-27: Riverview Parkway and Town Center Parkway



Figure 3-28: Town Center Parkway Trolley Stop Terminus

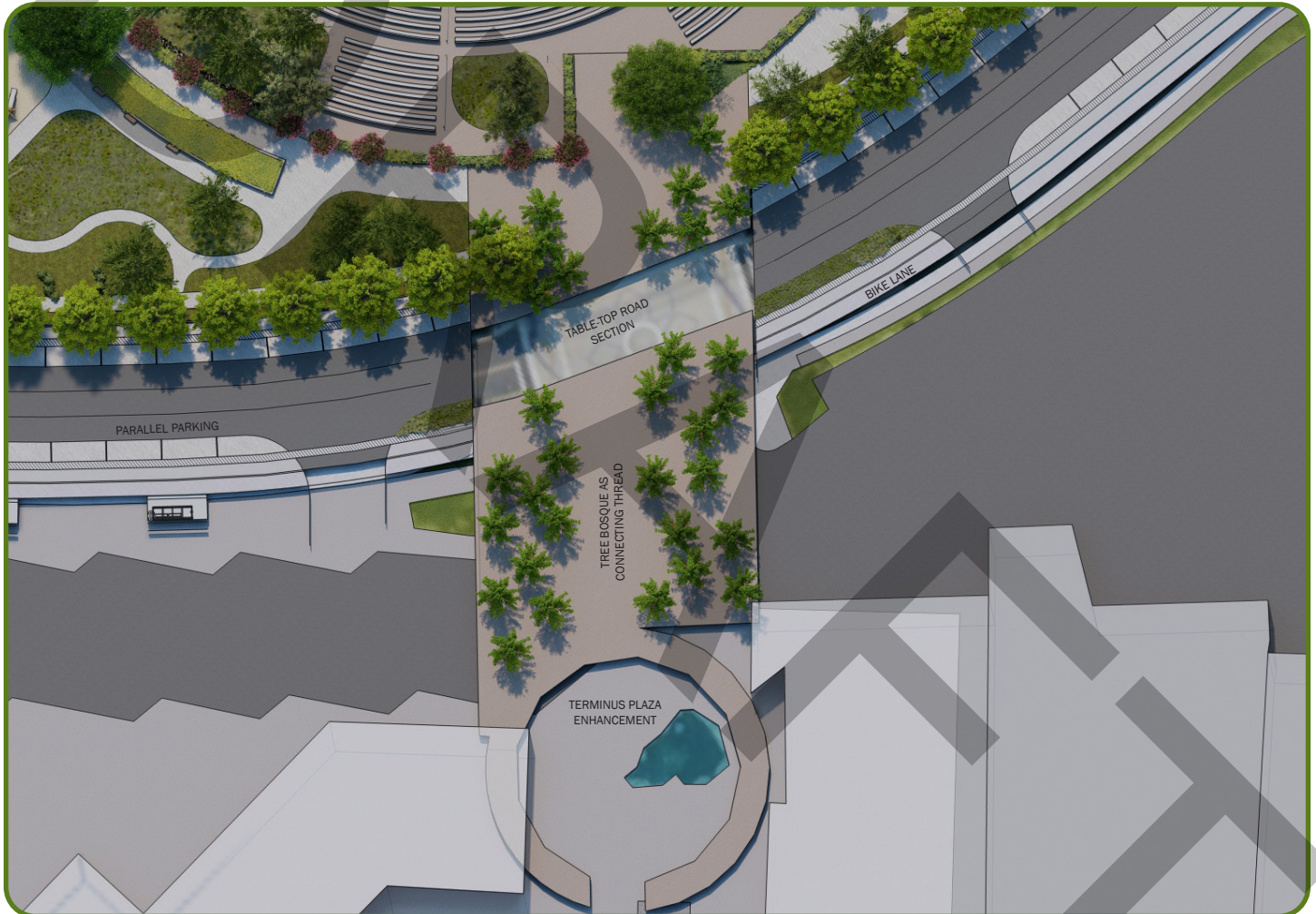
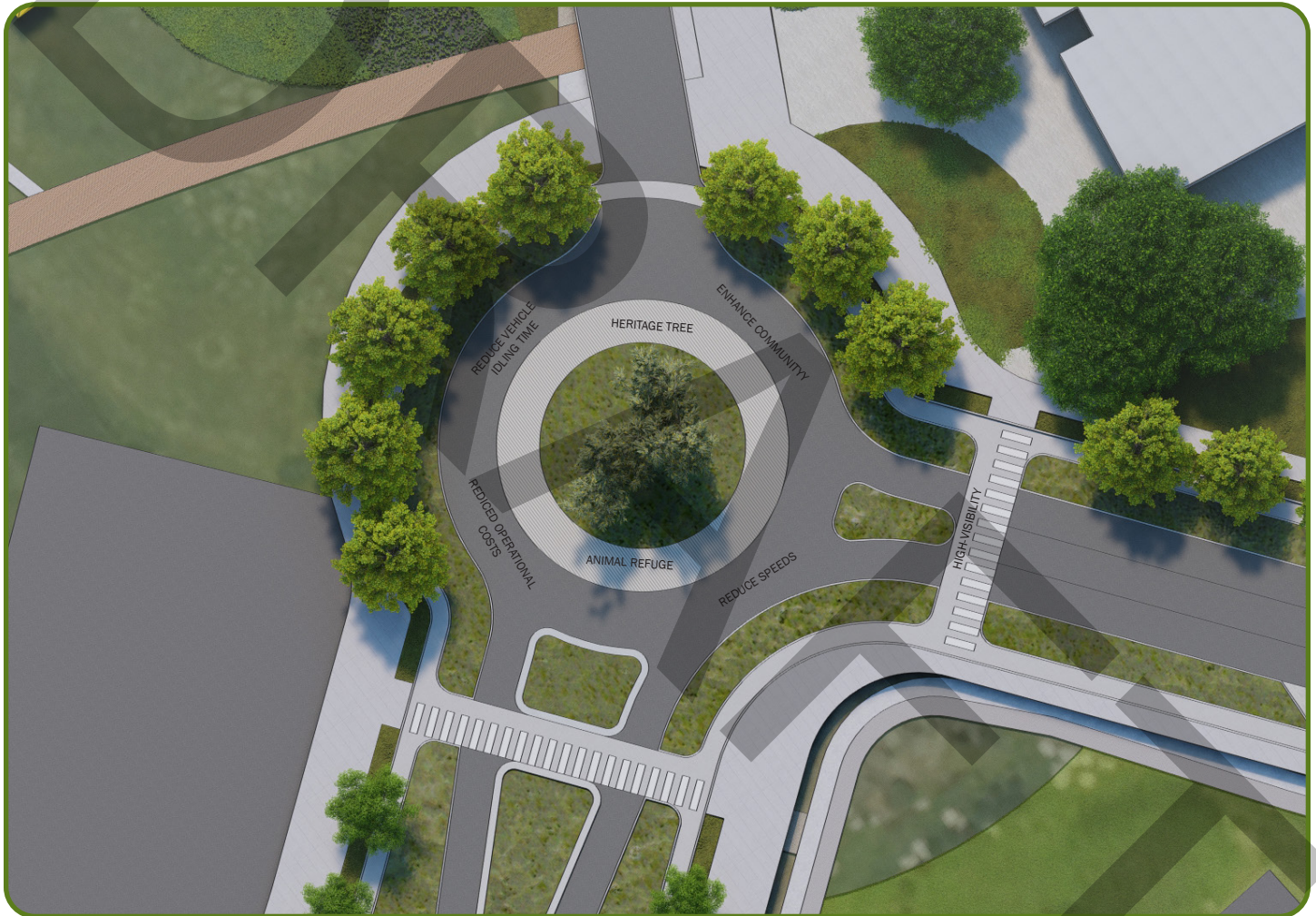


Figure 3-29: Town Center Parkway Roundabout



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Infrastructure and Public Facilities

4.1 Introduction

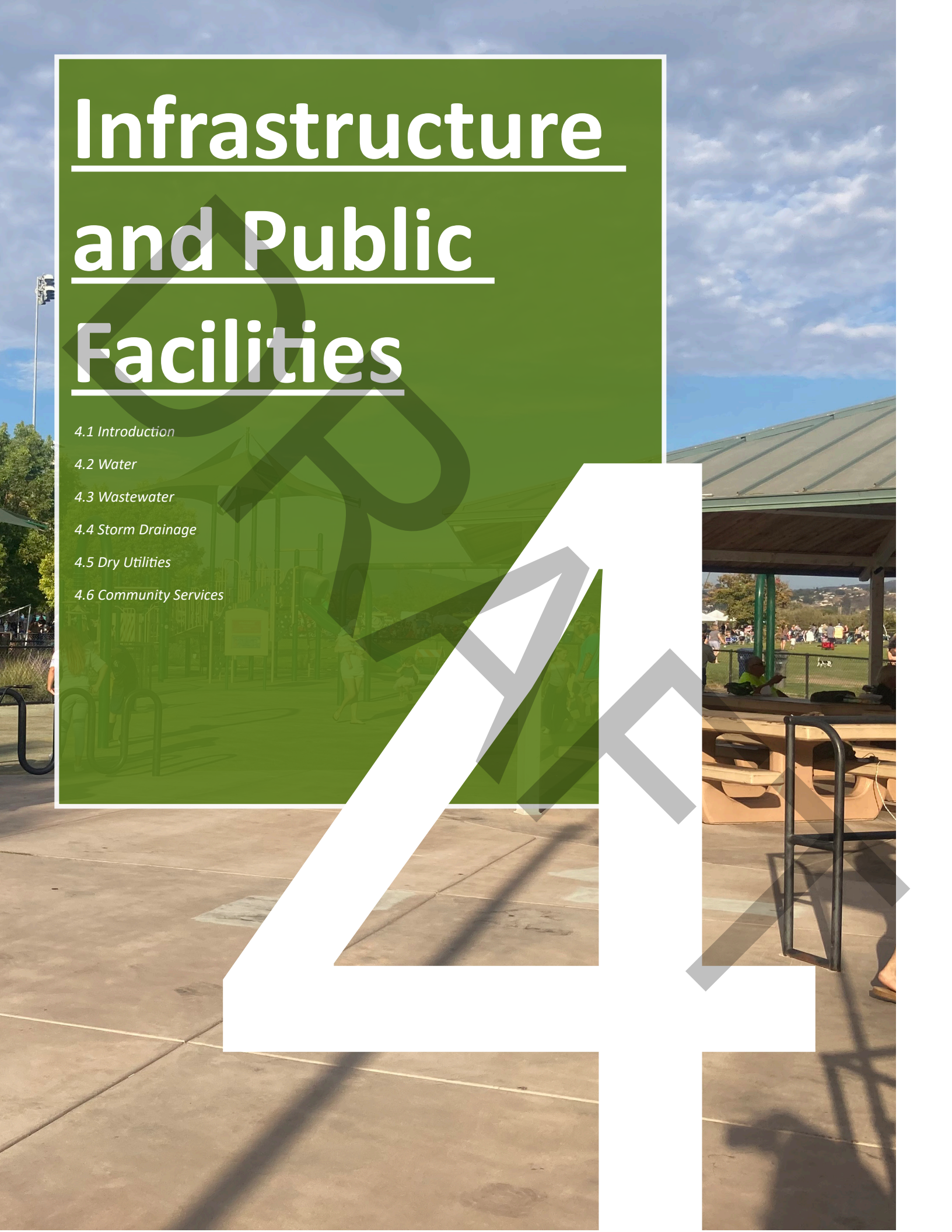
4.2 Water

4.3 Wastewater

4.4 Storm Drainage

4.5 Dry Utilities

4.6 Community Services





4.1 Introduction

Infrastructure and public facilities are essential to the success of the Santee Arts and Entertainment District. This section describes existing and proposed infrastructure such as water, wastewater, storm drainage, and dry utilities; and the public services and associated facilities which support the project area (refer to Figure 4-1 for the location of facilities that service the area).

4.2 Water

Water Supply

The Padre Dam Municipal Water District (PDMWD) provides potable water and non-potable water (recycled water) services to the City of Santee. PDMWD imports all of its drinking water supply from the San Diego County Water Authority (SDCWA) via a connection at Mission Gorge Road near Mission Trails Park (connection No. 4) and a connection located at Lake Jennings Treatment Plant (connection No. 6). The PDMWD is also a public agency and implements a five-year budget and five-year strategic business plan to evaluate infrastructure improvements.

The Specific Plan area is serviced by both potable and non-potable water. Potable water is drinking water that comes from surface water and groundwater sources and is treated to levels that meet state and federal standards for consumption. Non-potable water (recycled water) that is not of drinking quality but is treated for other purposes, such as landscape irrigation.

Potable Water

The Specific Plan area contains a low-water level elevation of 605.5 feet above mean sea level and a high-water level elevation of 629 feet above mean sea level. PDMWD has pump stations agency-wide, but the potable water system is entirely a gravity-based system that services the Specific Plan area. The water system is generally a closed loop system.

The city is covered by the PDMWD 2020 Urban Water Management Plan (prepared by Carollo Engineers), a Water Shortage Contingency Plan (prepared by the PDMWD), and the 2015 Addendum to the 2015 Urban Water Management Plan (prepared by Carollo Engineers). These plans and policy documents are used by PDWMD for meeting long range water supply needs for the County of San Diego.

Pipelines are constructed of both polyvinyl chloride (or PVC) and Asphalt Concrete Pipe (or ACP) and range in diameter from 6 to 10 inches (typical) to 18 inches with 10 inch and 12-inch diameter mains being a predominant pipe size. There are some 10-to-12-inch diameter mains trending through commercial sites. Noteworthy beneath Mission Gorge Road is a very old 36-inch diameter, steel transmission pipeline (El Capitan Pipeline) and a 20-inch diameter concrete cylindrical pipe (CCP).

Fire water is served through the hydrants located throughout the project area. There is adequate fire flow within the potable water system to serve occupancy loads now and in the future. Hydrants are located on each major street in the study area, however additional fire hydrants will be required as redevelopment and new development occurs within the study plan area to meet fire hydrants spacing and fire department requirements for fire protection/fire flow.

The adopted five-year budget identifies city-wide projects funded by the PDMWD. Annual, typical water main maintenance, valve replacement projects, and general water maintenance projects are done annually as needed for the system.

Non-Potable Water

Non-potable water, or recycled water, is predominant in the Specific Plan area. Recycled water pipelines are predominantly located outside the San Diego River area and lie beneath major streets; however, there are pipelines that pass within local streets and on private property serving irrigation needs. Pipelines are generally constructed of PVC and range in diameter from 6 inches (typical) to 12 inches.

The adopted five-year budget does not identify proposed recycled water improvements in the Specific Plan area other than typical energy efficiency-based projects.

4.3 Wastewater

The Padre Dam Municipal Water District (PDMWD) provides wastewater collection, disposal, and typical operation/maintenance services to the City of Santee which is a part of their western service area. According to their website, the District typically averages a wastewater collection of 40% to be sent to their Water Recycling Facility where it is treated and becomes part of our recycled water supply. The remaining 60% travels from Padre Dam's wastewater system into the City of San Diego's Metropolitan Wastewater System where it is treated at their Point Loma facility.

As with most agencies, the PDMWD contains a Sewer System Management Plan (SSMP), as updated in 2019. The SSMP contains general sewer system information and the methods of handling general maintenance, sewer spills, and general emergency response. As such, a solid and complete maintenance program is integral to the success of the longevity and performance of the wastewater system. The maintenance program should be implemented and monitored along with capital improvement projects for upgrades in collaboration with PDMWD.

Within the Project area, there is a myriad of sewer pipelines that are within private and public right-of-way. The predominant pipeline material is vitrified clay pipe, or VCP, however there are some PVC pipelines as well. The pipelines range in diameter generally from 6 inches to 10 inches; however, there are some pipelines that are 15 inches to 18 inches and locally up to 27 inches in diameter near the intersection of Town Center Parkway and Cuyamaca Street.

The adopted five-year budget identifies two capital projects that will affect the Specific Plan Area: The Mission Gorge Sewer and Sewer lifts station rehabilitation. The Mission Gorge sewer project is being undertaken as a capacity upgrade to replace the existing 8- and 10-inch VCP sewer mains with 12- and 15-inch sewer mains, respectively, from 4th Street to Tamberly Way during Fiscal Years 2026 through 2027. The electrical and/or mechanical equipment at the Mission Creek Lift station located near west of Cuyamaca Street near Whispering Willow Drive is planned to be evaluated during Fiscal Years 2026 and 2027.

4.4 Storm Drainage

Stormwater is transported by overland flow (sheetflow) from the various residential, commercial, institutional, open space/park properties and roadways and collected by catch basins and inlets to be ultimately directed below ground within underground storm drainage pipelines.

The Specific Plan area consists of a network of underground pipelines below minor and major roadways such as Cuyamaca Street, Town Center Parkway, Mission Gorge Road, Riverview Parkway, Magnolia Avenue, Cottonwood Avenue, Mast Boulevard and underneath local residential roadways such as Leavestry Trail, Verde Vista Lane, Little Leaf Lane, and Star Magnolia Lane. Some of the commercial properties contain on-site, underground storm drainage pipelines that connect to other systems downstream. Some of these pipelines are privately owned and maintained and range between 18 to 24 inches in diameter for low flows to 30 to 48 inches in diameter for larger flow capabilities. Ultimate discharge is the San Diego River which bisects the specific plan area.

The adopted Five-Year Capital Improvement Program for Fiscal Years (FY) 2024 through 2028 identifies a major storm drainage pipeline project including replacing a corrugated metal storm drain pipeline with a larger diameter reinforced concrete pipe beneath Mission Gorge Road between Cuyamaca Street and Cottonwood Avenue in beginning in FY 2025 through 2028.

4.4.1 Flood Hazards/Flood Zones

The majority of the Specific Plan zoned properties are located in Zone X, where Flood Zone X is defined as an area of minimal flood hazards and not affected by a 500-year storm event. However, the central portion of the Specific Plan area is in Special Flood Hazard Area (Flood Zones) Zone AE and within the San Diego River boundaries as Zone AE which is designated as a Regulatory Floodway.

North of San Diego River

The southern one-half of the Park Open Space Area, localized western portion of the Residential TC-R-14 and all of the Residential TC-R-7 areas located north of the San Diego River are located within Flood Zone AE.

South of San Diego River

Between Cuyamaca Street and Magnolia Avenue, the northern portions of the Commercial, Residential, and Institutional zoned properties abutting the river are within Zone AE and all of the Park/Open Space zoned property north of Riverview Parkway is located within Zone AE as well, while the balance of these properties lie within Zone X. To the west of Cuyamaca Street, the majority of the Commercial, Office/Commercial, and Dual-Zoned Residential TC-R-22 or Office/Commercial is located in Zone X but within an area of a 1% annual chance of a flood with a average depth of less than one foot or with drainage areas of less than one-square mile.

4.5 Dry Utilities

The Specific Plan area contains dry utilities telephone, TV, internet, electric, and natural gas that service the community.

4.5.1 Telecommunications

Crown Castle provides telecommunications services in the Specific Plan area. These carriers are expected to meet current and future demands of land uses.

4.5.2 Cable Service

AT&T and Cox provide cable in the Specific Plan area. This carrier is expected to meet current and future demands of land uses.

4.5.3 Energy (Electricity and Natural Gas)

San Diego Gas & Electric (SDGE) provides electricity and natural gas services in the Specific Plan area. Existing transmission and distribution are adequate to meet and the current and future demands of the proposed land uses including new extensions meant to service the build out of the Town Center. The Public Utilities Commission of the State of California outlines the regulations for SDG&E.

Both Chapter 9.08 Overhead and Underground Utilities of Title 9 Public Services and Section 11.24.100 Undergrounding of utilities-required under Chapter 11.24 of Title 11 Building and Construction of in the Santee Municipal Code outlines provisions for the establishment of Underground Utility Districts and undergrounding of existing utilities, respectively. Provisions in Section 11.24.100 also allow the City Council to defer the undergrounding requirement, however, the applicant must enter into an agreement with the City to accept the establishment of an undergrounding utility district UUD at some future date. UUD No. 7 is located along Cuyamaca Street between Mission Creek Drive and Bingham Street and UUD No. 8 is located along Mast Boulevard. Both UUD's are just outside the northwest quadrant of the Specific Plan Area. Additional districts may be established should the City Council deem it necessary as the project area builds out.

4.6 Community Services

4.6.1 Library

The County of San Diego operates the Santee Library, which services the Town Center Specific Plan Area along with the rest of the City of Santee. The Santee Library is located at 9225 Carlton Hills Blvd #17, Santee, CA 92071. The Santee Library is located within Carlton Oaks Plaza, located at the intersection between Carlton Hills Boulevard and Carlton Oaks Drive. The library is found at the utmost northwest corner of Mast Park, less than half a mile from the Specific Plan area.

The Santee Library offers services for all ages, such as providing a cool zone program, to offer safe space for seniors, persons with disabilities, and those with health concerns that could be complicated by the effects of heat. The library offers story time for toddlers and preschoolers, and after-school programs for grades 1 through 5. Services as Wi-Fi and a 3D printer are available for residents at the library to support their education and access to information.

The County of San Diego Library also consists of a non-profit group referred to as the Friends of The Library. The Friends of the Library help support and provide positive advocacy for all local branches of the overall County-wide library organization named Library Friends of San Diego County, or LFSDC, by providing financial support, accepting donations, purchasing equipment and sponsoring various library programs.

4.6.2 Schools

Santee School District provides preschool, elementary and middle school education services throughout 9 schools that serve approximately 6,400 students in Santee. The Specific Plan area is served by the Santee School District at two schools in proximity to its boundaries, Rio Seco School, and Hill Creek School.

- ▶ Rio Seco
9545 Cuyamaca Street, Santee, CA 92071
- ▶ Hill Creek
9665 Jeremy Street, Santee, CA 92071

Grossmont Union High School District provides high school education services across 10 high schools located in El Cajon, Lakeside, Spring Valley, and Santee. Two high schools found in Santee serve the Specific Plan area, Santana High School, and West Hills High School.

- ▶ Santana High School
9915 Magnolia Ave, Santee, CA 92071
- ▶ West Hills High School
8756 Mast Blvd, Santee, CA 92071

4.6.3 Police

The San Diego County Sheriff's Department provides law enforcement services to the City of Santee. The Santee Sheriff's Station provides a full range of law enforcement services, which include patrol, traffic, investigations, parking enforcement, emergency services, crime prevention programs, crime analysis, and narcotics enforcement. The Santee Sheriff's Station is located at 8811 Cuyamaca Street, Santee, CA 92071, within 800 feet south of the southern boundary of the Specific Plan area, Mission Gorge Road. Additionally, the Community Safety Center at Trolley Square provides on-site law enforcement services within the Town Center Specific Plan, at the Santee Town Center trolley station.

4.6.4 Fire/Emergency Services

The City of Santee is serviced by its own Municipal City Fire Department after the city was incorporated in 1980. The Fire Department consists of two fire stations and a Fire Administration Building organized into three divisions consisting of administrative, emergency services, and fire prevention. Fire Station No. 4 is located at 8950 Cottonwood Avenue within the Town Center Specific Plan Area. Heartland Fire and Rescue Station No. 5 is located at 9130 Carlton Oaks Drive, located approximately two miles to the west from Fire Station No. 4. Additional fire department organizational services are located within Santee City Hall located at 10601 Magnolia Avenue.

The City of Santee contains an Emergency Operations Plan and utilizes their City Hall and the two fire stations as part of initiating city-wide emergency services. Also, in partnership and collaboration with the entire San Diego region, the San Diego Regional Association of Governments administer a Cities Emergency Operations Center (EOC) and Emergency Management Centers (EMC) in the region. The City of Santee is one of many cities referred to as a Level 1 City in San Diego. Level 1 City stakeholders are still in development of Intelligent Transportation Systems (ITS technologies such as traffic operations, fire and law enforcement. The goal for Santee is to grow to become a Level 2 City which allows advanced implementation of ITS technologies.

4.6.5 Parks and Recreation

The Town Center Community Park is located within the northern area of the Town Center Specific Plan, north of the San Diego River, and south of Mast Boulevard. The Town Center Community Park includes the YMCA and Santee Aquatics Center, Sportsplex USA, Town Center Community Park East (550 Park Center Drive) and West (9409 Cuyamaca Street).

Nearby:

- ▶ Mast Park
- ▶ Walker Preserve Trail

The Community Services Department contains the Parks and Recreation Division and Public Services Division that operates and maintains parks and recreational facilities' structures and infrastructure, social and recreational programs, classes, special events, and activities such as summer concerts and community clean up days.

4.6.6 Solid Waste

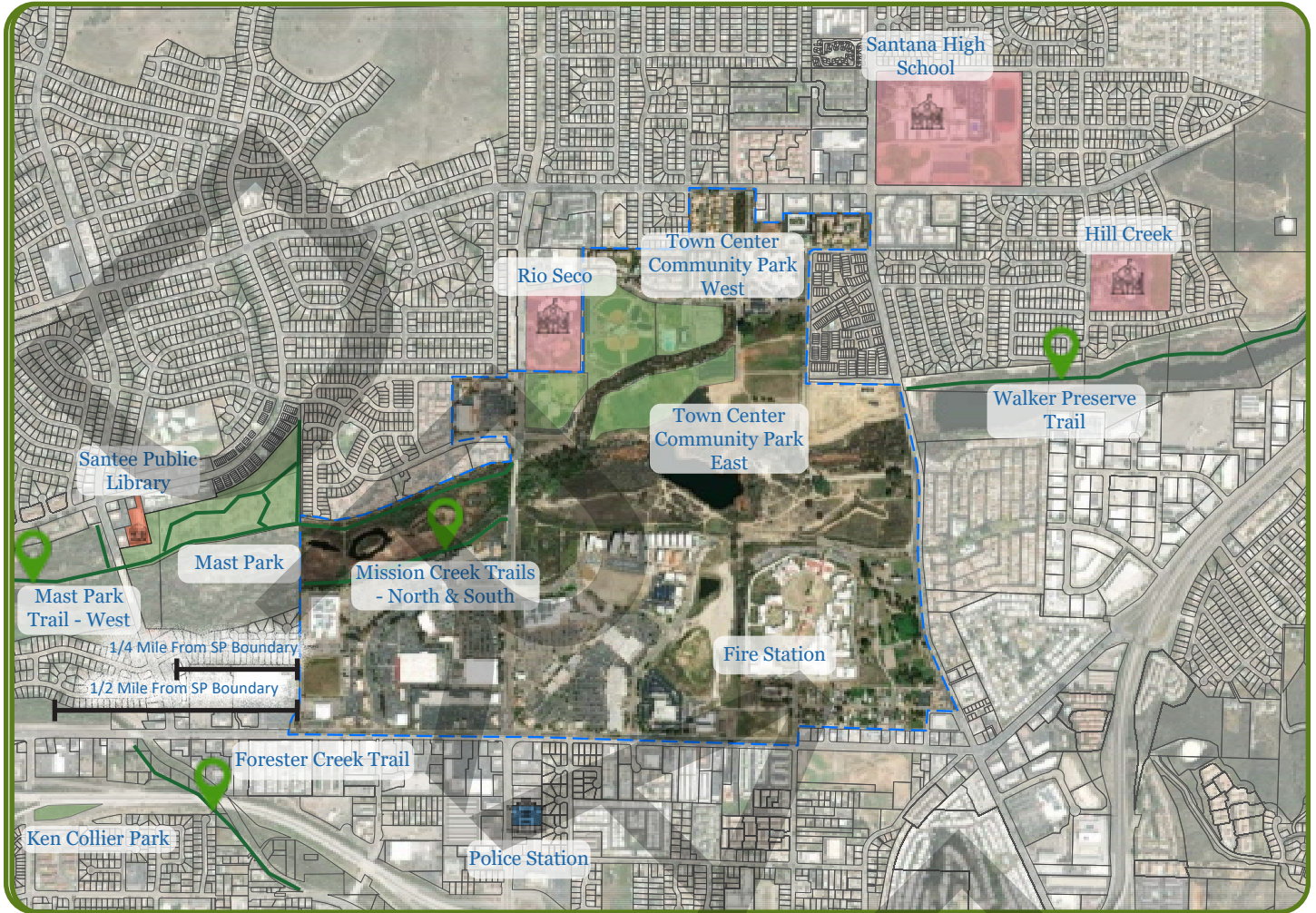
Solid waste services within the Specific Plan area are provided by Waste Management, Inc., (a private hauler) which is under an exclusive franchise agreement with the City of Santee. Waste Management, Inc. provides commercial and residential trash hauling, as well as industrial solid waste and recycling collection and disposal services.

The City of Santee Municipal Code Chapter 9 requires that Santee residents, businesses and multi-family apartment complexes separate all recyclable materials from other solid waste. The State of California regulations require all California businesses to participate in Mandatory Commercial Organics Recycling (AB 1826) and Mandatory Commercial Recycling (AB 341). However, as of January 1, 2022, State Law (SB 1383) went into effect requiring local collection agencies to further reduce organic waste methane emissions which result from organic waste deposited at landfills. This organic waste includes food waste, green waste, and paper products that decompose and release methane gas into the atmosphere.

Organic waste is required to be deposited in the green containers and recyclable materials are deposited in the blue containers. Although Sycamore Landfill's capacity is adequate to handle project build out, these further reductions in waste diversions will then effectively reduce the waste that gets deposited into the landfill as a secondary outcome from the law and ordinance.

It was determined that the proposed project area will not require any physical changes or new/altered facilities to ensure adequate service to the project area, as detailed further in the Environmental Documentation. However, the city through development projects or within public lots may consider the implementation of trash compactors.

Figure 4-1: Public Facilities Map



Public School



Existing Library



Park



Trailhead



Trail



Fire Station



Police Station

Implementation

5.1 Introduction

5.2 Ten Easy Steps

5.3 City Tools for Attracting Private Investment

5.4 Potential Funding Sources and Financing Mechanisms

5.5 Implementation Action Plan





5.1 Introduction

This section includes a series of potential funding sources and financing mechanisms to implement the Town Center Specific Plan. Ultimately, the City of Santee will tailor these to their specific approach to financing public infrastructure improvements, incentivizing private development, and maintaining public facilities and improvement. This approach will also be defined depending on the availability of specific programs and funding opportunities, since public funding at all levels of government changes over time, and is subject to ever-shifting economic, environmental, legal, and political conditions.

5.2 Ten Easy Steps

Content in progress.

5.3 City Tools for Attracting Private Investment

Content in progress.

5.4 Potential Funding Sources and Financing Mechanisms

Table 5-1 describes potential funding sources that could be utilized for implementing the improvements as well as supporting annual operations and maintenance. The sources identified are intended for consideration and have not specifically been authorized to be utilized at this time.

5.5 Implementation Action Plan

Content in progress.

Table 5-1: Potential Funding Sources/Mechanisms

Potential Funding Sources/Mechanisms	Descriptions
<p>General Fund</p>	<p>The City’s primary General Fund revenue sources are property taxes and sales tax, which combined provide more than 72% of the General Fund revenues. The City is responsible for providing a range of municipal services that includes law enforcement, fire and life safety, street maintenance, traffic circulation, planning and community development, park and landscape maintenance, code enforcement, building inspection and recreation programs for all ages. General funds are also used to pay for a sizable portion of replacement infrastructure and some new capital facilities.</p>
<p>Special Assessment Districts</p>	<p>California law provides procedures to levy assessments against benefiting properties and issue tax exempt bonds to finance public facilities and infrastructure improvements. Assessment districts, also known as improvement districts, are initiated by the legislative body (e.g. city), subject to majority protest of property owners or registered voters. Assessments are distributed in proportion to the benefits received by each property and represent a lien against property. The assessments are fixed dollar amounts and may be prepaid. Only improvements with property-specific benefits (e.g. roads, and sewer and water improvements) may be financed with assessments.</p>
<p>Area of Benefit Fees</p>	<p>Area of benefit fees may be enacted by the legislative body (i.e. city) through adoption of an ordinance, without voter approval. The fee must be directly related to the benefit received. It does not create a lien against property, but must be paid in full as a condition of approval. Its principal use is for encumbering properties that will not voluntarily enter into an assessment or CFD, so that they pay their fair share at the time they are ready to be developed. Proceeds may be used to reimburse property owners who pay up-front cost for facilities benefiting other properties. Benefiting properties may be given the option to finance the fees by entering into an assessment district.</p>

Potential Funding Sources/Mechanisms	Descriptions
<p>Business Improvement Districts (BID)</p>	<p>In California, there are two different types of business improvement districts, one created through assessments on business licenses within the district (including landowners who lease property), and the second created through assessments of property owners alone.</p> <p>Business-based BIDs - The Parking and Business Improvement Area Law of 1989 provides the legal basis for what is commonly known as business improvement districts (BIDs). Business improvement districts utilize an annual assessment levied against business owners based on a measure of benefit to each participating business, and can support a limited range of ongoing activities, including streetscape and sidewalk improvements, trash and cleanup activities, promotion and advertising and public safety. Special assessments within this type of business improvement district cannot be used to secure loans or bonds, thus limiting financing strategies to a pay-as-you-go basis.</p> <p>Property-based BIDs - The Property and Business Improvement District Law of 1994 provides funding for a wide range of improvements and activities. Assessments are levied against property owners rather than businesses - a key difference from the business-based Parking and Business Improvement District Law of 1989, as previously described. Property owners are often more willing to assess themselves if the result may directly benefit their investment in real property. Any assessments must be reauthorized by a majority vote in proportion to their assessment every five years. Compared with a business-based business improvement district that requires annual reinstatement, this longer five-year period also allows for minor capital improvements to be funded through loans.</p>

Potential Funding Sources/Mechanisms	Descriptions
<p>Landscaping and Lighting Districts</p>	<p>Landscaping and Lighting Districts (LLD) may be used for installation, maintenance and servicing of landscaping and lighting, through annual assessments on benefiting properties. LLDs also may provide for construction and maintenance of appurtenant features, including curbs, gutters, walls, sidewalks or paving, and irrigation or drainage facilities. They also may be used to fund and maintain parks above normal park standards maintained from general fund revenues.</p>
<p>Enhanced Infrastructure Financing Districts</p>	<p>In 2014, with Senate Bill (SB) 628 the State revamped existing Infrastructure Financing Districts into Enhanced Infrastructure Financing Districts (EIFDs). EIFDs are a type of tax increment financing (TIF) district cities and counties could form to help fund economic development projects. With these modifications, EIFDs are currently able to fund infrastructure maintenance and housing development, economic development, transportation infrastructure, sewage treatment, and climate adaptation projects, among other</p>
<p>Street Furniture Dedication Program (Donor Programs)</p>	<p>Some of the proposed improvements may lend themselves to a public campaign for donor gifts. Donor programs have been used very successfully in many cities in the United States for providing funds for streetscape and community design elements. Such programs can be tailored to solicit contributions from individuals, corporations, local businesses and community and business associations. Many improvements could be funded by donor gifts for items such as: benches, trash receptacles, street trees, street tree grates,</p>
<p>Entitlement Fees</p>	<p>The City of Santee can assist a development or infrastructure project by contributing towards the entitlement or processing fees. Typically, the contribution towards fees occurs on a project-by-project basis depending on the demonstrated feasibility gap. However, if the City of Santee pays the fees or provides any other form of subsidy for a development or infrastructure project, then prevailing wages would be triggered.</p>

Potential Funding Sources/Mechanisms	Descriptions
<p>Quimby Fees</p>	<p>The “Quimby fee” provision of the Subdivision Map Act permits cities to require that developers either dedicate parkland or pay an equivalent fee that allows the City to buy land for parks. The fee applies to residential subdivisions and is based upon the number of units multiplied by a density factor.</p> <p>This fee must be used to purchase land for parks in order to meet the City’s standards of 3 acres of parkland per 1,000 population.</p>
<p>SDG&E Undergrounding Funds</p>	<p>Utility companies are required to budget funds each year for undergrounding. These budgets are approved by the Public Utilities Commission and assigned to specific projects in each area based on priorities developed by the City of Santee.</p>



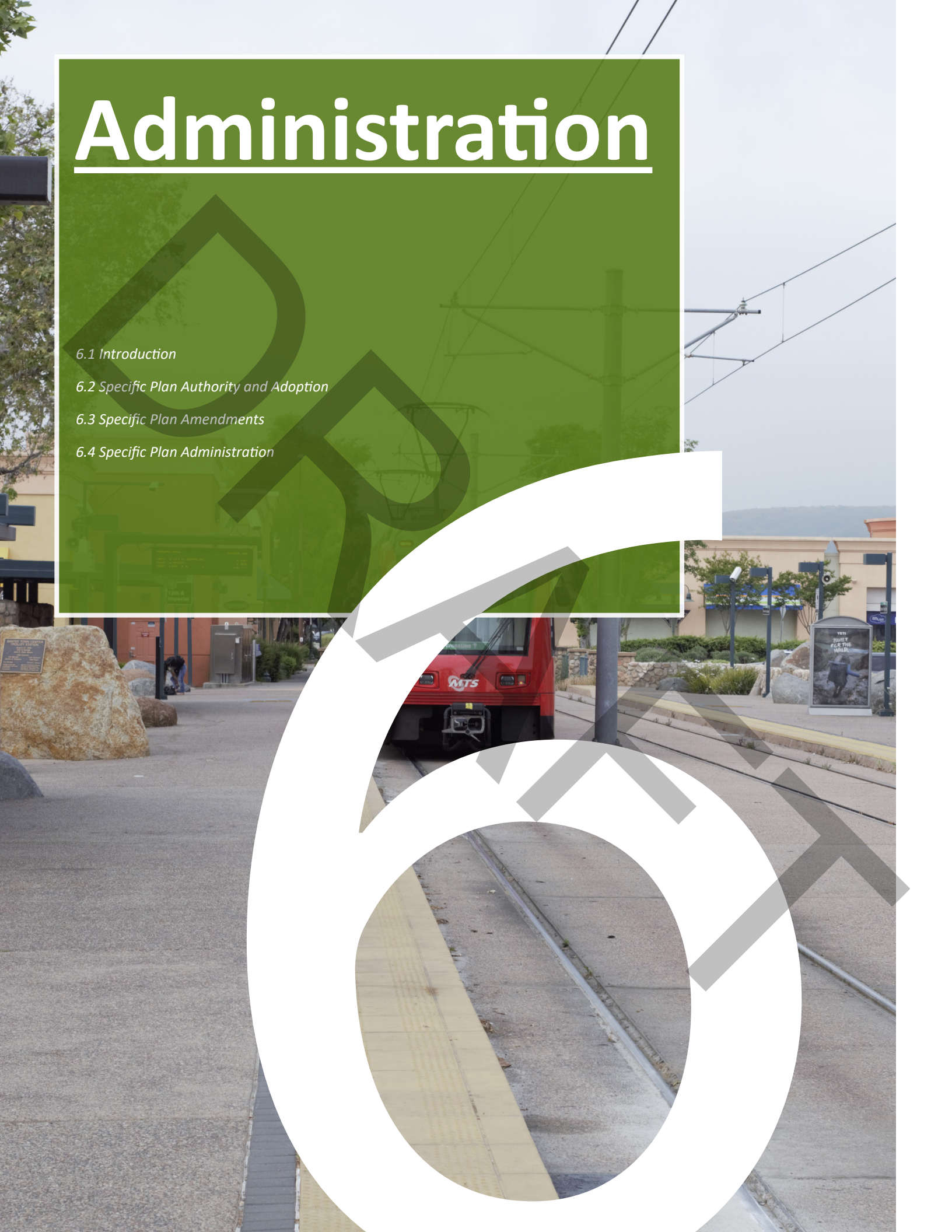
Administration

6.1 Introduction

6.2 Specific Plan Authority and Adoption

6.3 Specific Plan Amendments

6.4 Specific Plan Administration





6.1 Introduction

This section describes the Town Center Specific Plan authority, the administrative procedures required for amendments and/or modifications to the Plan, and processing requirements.

6.2 Specific Plan Authority and Adoption

All specific plans must comply with California Government Code Sections 65450 through 65457. These provisions require that a specific plan be consistent with the adopted General Plan for the jurisdiction in which the specific plan area is located. In turn, all subsequent development proposals, such as tentative subdivision maps, site plans, improvement plans, and all public works projects, must be consistent with the adopted specific plan.

Pursuant to California Government Code Section 65453, a specific plan may be adopted by resolution or by ordinance. Specific plans adopted by ordinance effectively become a set of zoning regulations that provide specific direction to the type and intensity of uses permitted and may also define design expectations and standards. The Town Center Specific Plan is a regulatory document adopted by ordinance. In any instance where the Town Center Specific Plan conflicts with the requirements of the Santee Municipal Code, the Town Center Specific Plan provisions shall take precedence.

Where the Town Center Specific Plan is silent on a topic, the requirements of Title 13 of the Santee Municipal Code (Zoning Ordinance) remain in effect.

6.3 Specific Plan Amendments

The Town Center Specific Plan may need to be revised over time to accommodate modifications in the City's needs or changing economic conditions. California Government Code Section 65453 states that a specific plan "may be amended as often as deemed necessary by the legislative body." Amendments to the Town Center Specific Plan may be proposed in the case that the proposed amendments are compatible and consistent with the purpose and goals of the Town Center Specific Plan and the Santee General Plan.

This section explains the Town Center Specific Plan amendment processes and approval procedures.

6.3.1 Amendment Process

Amendments to the Town Center Specific Plan may be initiated by a developer, an individual, or by the City of Santee. Proposed amendments to the Town Center Specific Plan must be accompanied by all applicable City application forms, required City fees, and information listed below documenting the proposed amendment:

- ▶ A detailed explanation that describes and confirms that the proposed amendment is compatible and consistent with the Town Center Specific Plan guiding principles and vision.

- ▶ Detailed information to document the proposed change. This information should include revised text and revised diagrams, where relevant, depicting the requested amendment.
- ▶ A significant amount of effort and resources were invested in the preparation of the Town Center Specific Plan. Therefore, any amendment proposal must clearly document the need for any changes. To this end, the applicant should indicate the economic, social, and technical issues that generate the need for the proposed amendment.
- ▶ The applicant must provide an analysis of the proposed amendment's impacts relative to the adopted Environmental Impact Report (Note: Only applicable if deemed necessary by the Director of Planning in accordance with State CEQA Guidelines.)

City staff shall review all the application materials listed above for completeness. If the application is determined complete, and determined to be a "major amendment", city staff shall then schedule any required hearing(s) and provide a staff report for presentation to the Planning Commission and City Council. Staff may also request further clarification of application materials, if deemed necessary. The staff report will analyze the proposed amendment to ensure consistency with the Santee General Plan.

It will also determine whether there is a need to amend the Town Center Specific Plan as supported by the conclusions of the application materials and make a recommendation to the Planning Commission and City Council.

6.3.2 Amendment Approval

Findings

Approval procedures shall ensure that proposed amendments are compatible and consistent with the objectives and vision of the Town Center Specific Plan and the Santee General Plan. Amendments may be approved only if all the following findings are made:

1. The proposed amendment is consistent with the Town Center Specific Plan;
2. The proposed amendment is consistent with the Santee General Plan;
3. The proposed amendment would not be detrimental to the public interest, health, safety, convenience, or welfare of the City, and;
4. The proposed amendment ensures future development with desirable character that will be harmonious with existing and proposed development.

Determination of Minor and Major Amendments

The Director of Planning is responsible for making the determination as to whether an amendment to the Town Center Specific Plan is "minor" (administrative) or "major" (requires review by Planning Commission and City Council) within 30 days of any submittal of a request to amend the Town Center Specific Plan. The Director of Planning may authorize or deny a minor amendment. Whereas a major amendment must be processed as a Specific Plan Amendment with review by the Planning Commission and City Council.



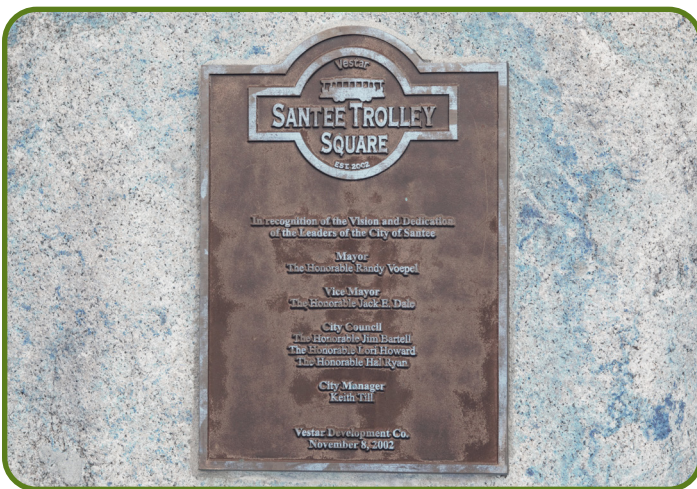


Minor amendments must be determined to be in substantial conformance with the Town Center Specific Plan and free from any of the changes described for major amendments. Where the Town Center Specific Plan contains language requiring or allowing for a determination by the Director of Planning, it is no considered a minor amendment, and as such, no application is required.

Major amendments are those that require resolution from the Planning Commission and City Council.

Examples of major amendments include the following:

- a. The introduction of a new land use category not contemplated in the Town Center Specific Plan.
- b. Changes in the Specific Plan District designation from that shown in the Town Center Specific Plan.
- c. Significant changes to the circulation system.
- d. Changes or additions to the development standards or design guidelines which would materially alter the stated intent of the Town Center Specific Plan.
- e. Any changes (not able to be mitigated) that would result in new significant adverse environmental impacts not previously considered in the CEQA compliance documentation for the Town Center Specific Plan.



Appeals

Appeals on decisions rendered by the Director of Planning may be filed with the Planning and Building Department and considered by the City’s legislative bodies pursuant to Section 13.04.070 (Appeals) of the Santee Municipal Code.



6.4 Specific Plan Administration

6.4.1 Interpretation

The Director of Planning is assigned the responsibility and authority to interpret the Town Center Specific Plan. Whenever the Director of Planning makes an official interpretation of this Specific Plan, the interpretation shall be made in writing explaining the interpretation and the general circumstances surrounding the need for the interpretation. Any interpretation by the Director of Planning may be appealed pursuant to Section 13.04.070 (Appeals) of the Santee Municipal Code. The Director of Planning may refer interpretation of the Specific Plan to the Planning Commission for a decision at a public meeting.

6.4.2 Severability

If any section, subsection, sentence, clause, phrase or portion of this Specific Plan, or any future amendments or additions hereto, is for any reason found to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remainder of this Specific Plan document or any future amendments or additions hereto. The City hereby declares that it would have adopted these requirements and each sentence, subsection, clause, phrase or portion or any future amendments or additions thereto, irrespective of the fact that any one or more section, subsections, clauses, phrases,

portions or any future amendments or additions thereto may be declared invalid or unconstitutional.

6.4.3 Administration Process

All development applications within the Specific Plan Area shall follow established City procedures such as those for zone variances, conditional use permits, development permits and subdivisions. All development applications within the Specific Plan Area will be evaluated for compliance with Specific Plan regulations and guidelines. Appeals are regulated pursuant to Section 13.04.070 (Appeals) of the Santee Municipal Code.

6.4.4 Allowable Land Uses

Allowable land uses are addressed in Section 2, Land Use and Urban Form. Section 2 references applicable citywide zones for each land use designation, while identifying exceptions, additional allowances, and/or different permitting processes where appropriate. A land use that is not listed within each applicable citywide zone or within the Town Center Specific Plan is not allowed, except where the Director of Planning may find that a use may be permitted due to its consistency with the purpose/intent of the zoning district and similarity to other uses listed pursuant to Section 13.04.040 (Use Determination) of the Santee Municipal Code.

6.4.5 Nonconformity

Section 13.04.110 (Nonconforming Uses and Structures) of the Santee Municipal Code is applicable to any nonconforming uses, structures, or parcels within the Specific Plan Area. Land uses and structures existing as of the adoption date of this Specific Plan may continue to remain in accordance to Section 13.04.110 (Nonconforming Uses and Structures) of the Santee Municipal Code.

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Allowable and Permitted Uses

7.1 Introduction

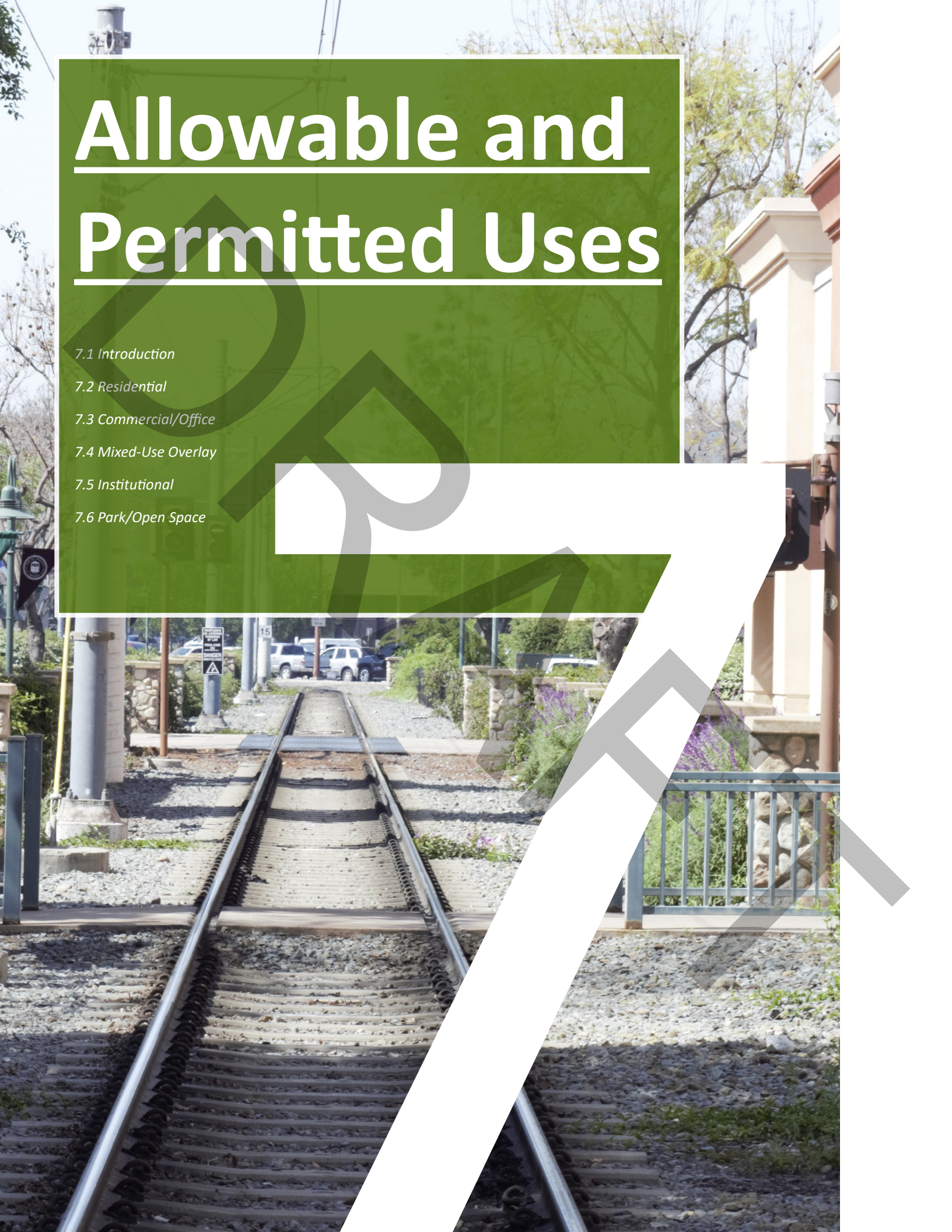
7.2 Residential

7.3 Commercial/Office

7.4 Mixed-Use Overlay

7.5 Institutional

7.6 Park/Open Space



7.1 Introduction

Section 2.3: Land Use Plan identifies the land use designations for each property within the Town Center Specific Plan area, while referencing applicable citywide zones for each land use designation. This section provides detail regarding the applicable citywide zoning as well as allowable/permitted uses.

Uses listed in tables 7-3, 7-4, 7-5, 7-6, 7-8, 7-10, 7-11, and 7-13 shall be allowable as indicated in the use regulations columns. Where indicated with the letter “P,” the use shall be a permitted use. Where indicated with the letter “C,” the use shall be a conditional use subject to a conditional use permit. Where indicated with the letters “MC,” the use shall be a conditional use subject to a minor conditional use permit. Where indicated with a dash “—,” the use shall not be permitted.

7.2 Residential

The Residential regulations outlined in Section 13.10 of the Santee Municipal Code apply to properties designated residential within the Town Center Specific Plan area, as outlined in Table 7-1.

Amongst other provisions, sections 13.10.030 and 13.10.040 of the Santee Municipal Code, include residential use regulations and site development criteria.

Table 7-1: Residential Zones Applicability

<u>TCSP Designation</u>	<u>Citywide Zoning</u>
TC R-2	R-2
TC R-7	R-7
TC R-14	R-14
TC R-22	R-22
TC R-30	R-30

7.3 Commercial/Office

The Commercial/Office regulations outlined in Section 13.12 of the Santee Municipal Code apply to properties designated commercial/office within the Town Center Specific Plan area, as outlined in Table 7-2.

Amongst other provisions, sections 13.12.030 and 13.12.040 of the Santee Municipal Code, include office and commercial use regulations and site development criteria.

Use regulations unique to the Town Center Specific Plan area, are outlined in Tables 7-3 through 7-6.

Table 7-2: Commercial/Office Zones Applicability

<u>TCSP Designation</u>	<u>Citywide Zoning</u>
Commercial	GC
Office Commercial	OP
Trolley Commercial	NC
Entertainment	NC

Table 7-3: Commercial Use Regulations Unique to the Specific Plan

Use	Regulation
A. Offices and Related Uses	
Bail bonds office	--
B. General Commercial Uses	
Animal care facility, small animal only (animal hospital, veterinarian, commercial kennel, grooming)	
b. Including exterior kennel, pens or runs	--
Appliance repair and incidental sales, including, but not limited to, small household appliances, computers and vending machines, and provided all work activities and storage occurs entirely within an enclosed building	--
Automotive services including automobiles, trucks, motorcycles, boats, trailers, mopeds, recreational vehicles or other similar vehicles as determined by the Director	
a. Sales	--
b. Rentals	
i. With on-site vehicle storage	--
c. Repairs including painting, body work and services	--
Washing and detailing including full service carwash, self-service carwash, and/or express carwash	--
Recreational vehicle storage facility	--
Commercial recreation facilities	
b. Outdoor uses, including, but not limited to, golf, tennis, basketball, baseball, trampolines, and drive-in theaters	--
Drive-in business (excluding theaters and fast food restaurants)	--
Equipment sales/rental yards (light equipment only)	--
Hotels and motels	MC
Mining	--
Mobile home sales	--
Nightclub, teenage	--
C. Public and Semi-Public Uses	
Convalescent facilities and hospitals	--
Parks and recreation facilities, public or private (excluding commercial recreation facilities)	MC
Public buildings and facilities	MC

Table 7-4: Trolley Commercial Use Regulations Unique to the Specific Plan

Use	Regulation
B. General Commercial Uses	
Antique shops	--
Animal care facility, small animal only (animal hospital, veterinarian, commercial kennel, grooming)	
- Excluding exterior kennel, pens or runs	--
Appliance repair and incidental sales, including, but not limited to, small household appliances, computers and vending machines, and provided all work activities and storage occurs entirely within an enclosed building	--
Automotive services including automobiles, trucks, motorcycles, boats, trailers, mopeds, recreational vehicles or other similar vehicles as determined by the Director	--
b. Rentals	
i. With on-site vehicle storage	--
Washing and detailing including full service carwash, self-service carwash, and/or express carwash	--
Service or gasoline dispensing stations including mini-marts, accessory car washes, and minor repair services accessory to the gasoline sales	--
Parts and supplies excluding auto recycling or wrecking	--
Drive-in business (excluding theaters and fast food restaurants)	--
Supermarkets (including the sale of alcoholic beverages)	--
Home improvement centers	
- Material stored and sold within enclosed buildings	--
Hotels and motels	MC
Mining	--
Parking facilities (commercial) where fees are charged	P
Second hand store or thrift shop	--
Small collection facility	--
Stamp and coin shops	--

Use	Regulation
Swimming pool or spa sales and/or supplies	--
Clubs and lodges, including YMCA, YWCA and similar group uses without alcoholic beverage sales (clubs and lodges serving or selling alcoholic beverages shall come under the provisions of subsection (B)(30) of this table)	--
C. Public and Semi-Public Uses	
Parks and recreation facilities, public or private (excluding commercial recreation facilities)	MC
Public buildings and facilities	MC

Table 7-5: Entertainment Commercial Use Regulations Unique to the Specific Plan

Use	Regulation
Offices and related uses	
Clerical and professional offices	
Medical, dental and related health administrative and professional offices services (non-animal related) including laboratories and clinics; only the sale of articles clearly incidental to the services provided shall be permitted	
General Commercial Uses	
Antique shops	--
Animal care facility, small animal only (animal hospital, veterinarian, commercial kennel, grooming)	
- Excluding exterior kennel, pens or runs	--
Apparel stores	--
Appliance repair and incidental sales, including, but not limited to, small household appliances, computers and vending machines, and provided all work activities and storage occurs entirely within an enclosed building	--
Athletic and health clubs	--
Automotive services including automobiles, trucks, motorcycles, boats, trailers, mopeds, recreational vehicles or other similar vehicles as determined by the Director	--
b. Rentals	
- With on-site vehicle storage	--

Use	Regulation
- No on-site vehicle storage	--
Washing and detailing including full service carwash, self-service carwash, and/or express carwash	--
Service or gasoline dispensing stations including mini-marts, accessory car washes, and minor repair services accessory to the gasoline sales	--
Parts and supplies excluding auto recycling or wrecking	--
Barber and beauty shops and/or supplies	--
Bicycle sales and shops (non-motorized)	--
Blueprint and photocopy services	--
Catering establishments (excluding mobile catering trucks)	MC
Cleaning and pressing establishments, retail	--
Commercial recreation facilities	
- Indoor uses, including, but not limited to, bowling lanes, theaters, and billiard parlors	P
- Outdoor uses, including, but not limited to, golf, tennis, basketball, baseball, trampolines, and drive-in theaters	MC
Dairy products stores	--
Department stores	--
Drive-in business (excluding theaters and fast food restaurants)	--
Drug stores and pharmacies	--
Food and beverage sales or service	
- Fast food restaurants with drive-in or drive-through service	--
- Supermarkets (including the sale of alcoholic beverages)	--
- Convenience markets	MC
- Liquor stores	--
- Clubs and lodges with alcoholic beverage service	--
- Micro-breweries, provided all equipment, supplies and materials are kept within an enclosed building	MC

Use	Regulation
Furniture stores, repair and upholstery	--
General retail stores	--
Hardware stores	--
Home improvement centers	
- Material stored and sold within enclosed buildings	--
Interior decorating service	--
Janitorial services and supplies	--
Jewelry stores	--
Laundry, self-service	--
Locksmith shop	--
Mining	--
Newspaper and magazine stores	--
Nurseries (excluding horticultural nurseries) and garden supply stores; provided all equipment, supplies and materials are kept within an enclosed building	
- With outdoor storage and supplies	--
Office and business machine stores and sales	--
Parking facilities (commercial) where fees are charged	P
Political or philanthropic headquarters	--
Pet shop ¹	--
Plumbing shop and supplies (all materials stored within an enclosed building)	--
School, business or trade (all activities occurring within an enclosed building)	--
School, commercial (all activities occurring within an enclosed building)	--
Shoe stores, sales and repair	--
Small collection facility	--
Sporting goods stores	--

Use	Regulation
Second hand store or thrift shop	--
Small collection facility	--
Stamp and coin shops	--
Swimming pool or spa sales and/or supplies	--
Tailor or seamstress	--
Tanning salon, massage, and other body conditioning services	--
Television, radio sales and service	--
Toy stores	--
Travel agencies	--
Transportation facilities (train, bus, taxi depots)	--
Public and Semi-Public Uses	
Churches, convents, monasteries and other religious institutions	--
Clubs and lodges, including YMCA, YWCA and similar group uses without alcoholic beverage sales (clubs and lodges serving or selling alcoholic beverages shall come under the provisions of subsection (B)(30) of this table)	--
Day care center facilities	--
Educational facilities, excluding business or trade schools and commercial schools	--
Parks and recreation facilities, public or private (excluding commercial recreation facilities)	MC
Post office	--
Public buildings and facilities	MC
Accessory Uses	
Caretaker's living quarters only when incidental to and on the same site as a permitted or conditionally permitted use	--

Table 7-6: Office Commercial Use Regulations Unique to the Specific Plan

Use	Regulation
A. Offices and Related Uses	
Bail bonds office	--
B. General Commercial Uses	
Dance, gymnastics, martial arts, or fitness/sports school or studio	P
Bakeries	P
Bicycle sales and shops (non-motorized)	P
Commercial recreation facilities	
- Indoor uses, including, but not limited to, bowling lanes, theaters, and billiard parlors	P
Food and beverage sales or service	
- Micro-breweries, provided all equipment, supplies and materials are kept within an enclosed building	P
Hotels and motels	MC
Mining	--
School, commercial (all activities occurring within an enclosed building)	P
Small collection facility	--
C. Public and Semi-Public Uses	
Convalescent facilities and hospitals	--
Educational facilities, excluding business or trade schools and commercial schools	P
Parks and recreation facilities, public or private (excluding commercial recreation facilities)	MC
Public buildings and facilities	MC
Radio or television broadcast studio	P

7.4 Mixed-use Overlay

The mixed-use overlay, which is addressed within section 13.22.060 of the Santee Municipal Code, applies to a series or properties within the Town Center Specific Plan area. The purpose of the mixed-use overlay is for residential development to incorporate ground level commercial uses.

The Specific Plan Land Use Map (Figure 2-1) identifies the areas where the mixed-use overlay applies with a pattern of diagonal lines, through which the underlying residential land use designation for each property is shown.

Mixed-Use Requirement

The mixed-use requirement within the Town Center Specific Plan is reduced from the one established within section 13.22.060 of the Santee Municipal Code as follows:

- ▶ A minimum of five percent of a mixed-use development’s gross square footage must be dedicated as commercial space, with a maximum of ten percent.
- ▶ A minimum of ninety percent of the gross floor area in any mixed-use development shall be devoted to residential use.

Affordability Incentive

As an incentive for the provision of affordable housing on mixed use development sites, the percentage of commercial development required in mixed-use overlay sites is reduced as shown on the Table 7-7.

Table 7-7: Affordability Incentive Table

Affordability Percentage (Low Income)	Commercial Use Requirement
0%	TBD
20%	TBD
40%	TBD
60%	TBD
80%	TBD
100%	TBD

Use regulations unique to the Town Center Specific Plan area, are outlined in Table 7-8..

The following uses, as indicated, are allowed within properties designated as mixed-use within the Town Center Specific Plan. Their use regulations differ from those listed in the Santee Municipal Code within Table 13.22.060B: Use Regulations for Mixed Use Overlay District, and shall apply as follows:

Table 7-8: Mixed-Use Overlay Use Regulations Unique to the Specific Plan

Use	Regulation
B. General Commercial Uses	
Antique shops	MC
Art, music and photographic studios and/or supply stores	
a. With class instruction	P
Catering establishments (excluding mobile catering trucks)	MC
Farmer’s market	MC
Second hand store or thrift shop	MC
C. Public and Semi-Public Uses	
Clubs and lodges, including YMCA, YWCA and similar group uses without alcoholic beverage sales (clubs and lodges serving or selling alcoholic beverages shall come under the provisions of Section 13.12.030 (B)(29))	MC
Parks and recreation facilities, public or private (excluding commercial recreation facilities)	MC
Public buildings and facilities, other than a library	MC

7.5 Institutional

The Commercial/Office regulations outlined in Section 13.12 of the Santee Municipal Code apply to properties designated Institutional within the Town Center Specific Plan area, as outlined in Table 7-9.

Amongst other provisions, sections 13.12.030 and 13.12.040 of the Santee Municipal Code, include office and commercial use regulations and site development criteria.

Use regulations applicable to Institutional uses unique to the Town Center Specific Plan area, are outlined in Table 7-10.

Table 7-9: Institutional Zones Applicability

<u>TCSP Designation</u>	<u>Citywide Zoning</u>
Institutional	OP

Table 7-10: Institutional Use Regulations Unique to the Town Center Specific Plan

Use	Regulation
A. Offices and Related Uses	
Bail bonds office	--
B. General Commercial Uses	
Animal care facility, small animal only (animal hospital, veterinarian, commercial kennel, grooming)	
- Excluding exterior kennel, pens or runs	P
- Including exterior kennel, pens or runs	P
Dance, gymnastics, martial arts, or fitness/sports school or studio	P
Bakeries	P
Bicycle sales and shops (non-motorized)	P
Commercial recreation facilities	
- Indoor uses, including, but not limited to, bowling lanes, theaters, and billiard parlors	P
Food and beverage sales or service	
- Micro-breweries, provided all equipment, supplies and materials are kept within an enclosed building	P

Use	Regulation
Hotels and motels	MC
Mining	--
School, commercial (all activities occurring within an enclosed building)	P
Small collection facility	--
C. Public and Semi-Public Uses	
Convalescent facilities and hospitals	--
Detention facility	P
Educational facilities, excluding business or trade schools and commercial schools	P
Parks and recreation facilities, public or private (excluding commercial recreation facilities)	MC
Public buildings and facilities	MC
Radio or television broadcast studio	P

7.6 Park/Open Space

The Park/Open Space regulations outlined in Section 13.16 of the Santee Municipal Code apply to properties designated park/open space within the Town Center Specific Plan area, as outlined in table 7-12

Amongst other provisions, sections 13.16.020 and 13.16.040 of the Santee Municipal Code, include park/open space use regulations and site development criteria.

Use regulations unique to the Town Center Specific Plan area, are outlined in Tables 7-11 through 7-13.

Table 7-12: Park/Open Space Zones Applicability

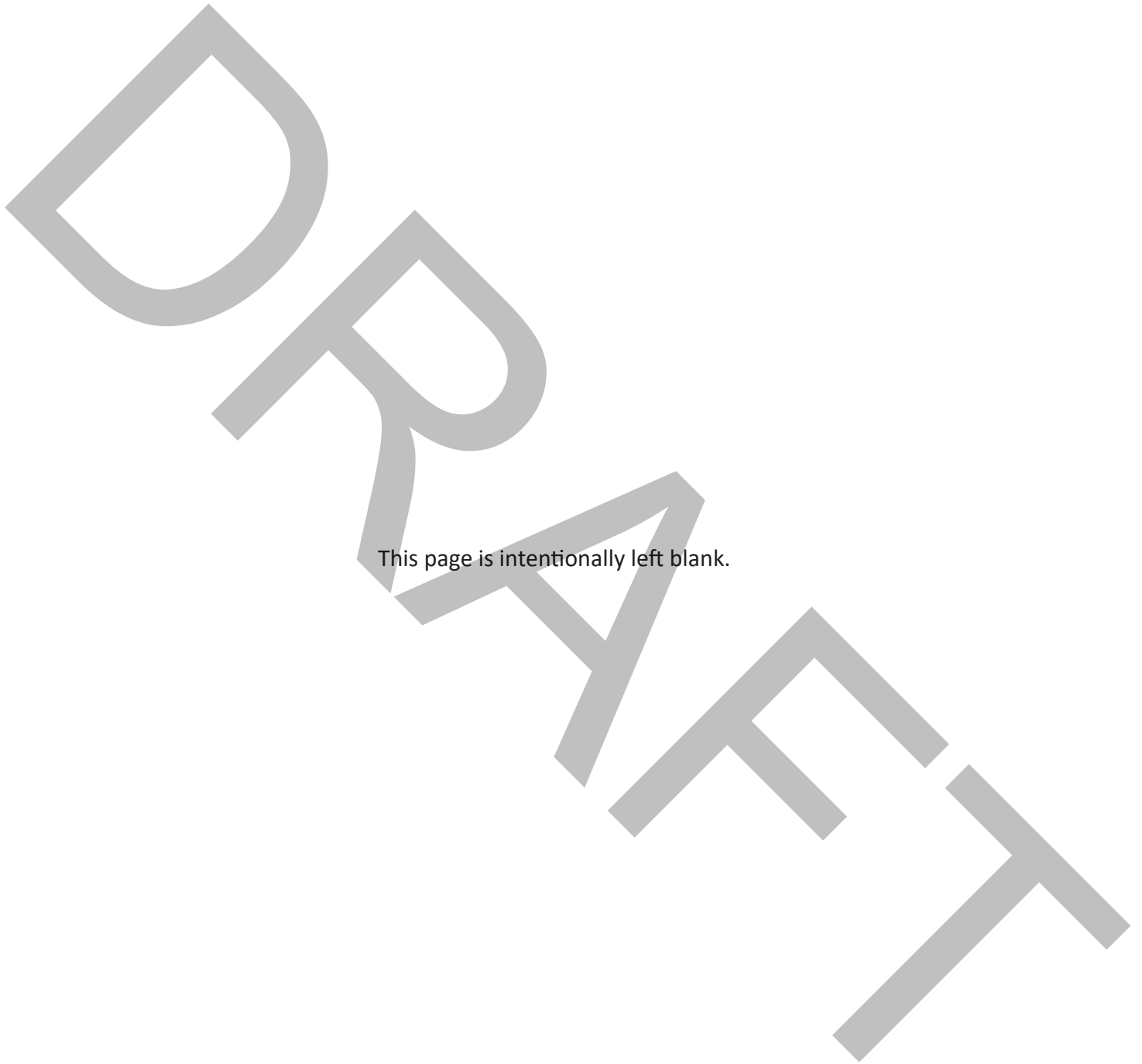
<u>TCSP Designation</u>	<u>Citywide Zoning</u>
Floodway / Open Space	Open Space
Park / Open Space	Open Space

Table 7-11: Park / Open Space Use Regulations Unique to the Specific Plan

Use	Regulation
Residential Uses	
- Single-family dwelling (not to exceed an average density of one unit per 40 acres) ¹	--
- Day care home, family	--
Home occupations (pursuant to Section 13.06.060 (A))	--
Recreational uses	
Parks, picnic areas, playgrounds	P
Privately Operated, Outdoor Recreation Facilities	P

Table 7-13: Floodway / Open Space Use Regulations Unique to the Town Center Specific

Use	Regulation
Residential Uses	
- Single-family dwelling (not to exceed an average density of one unit per 40 acres) ¹	--
- Day care home, family	--
Caretaker quarters (accessory to a permitted use) ¹	--
Home occupations (pursuant to Section 13.06.060 (A))	--
Auxiliary structures such as detached garages, carports, cabanas, barns, storage sheds, corrals ²	--
Cemeteries, crematories, mausoleums, columbariums, and related uses	--
Agriculture Uses	
- On-site sales of products grown on site	--
Recreational uses	
- Parks, picnic areas, playgrounds	MC
- Hiking, biking, equestrian trails	MC
- Greenway	MC
- Golf course	--
- Riding schools (equestrian)	--
- Commercial stable	--
- Country club and related uses	--



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